

City of New Albany Pre-Approved Buildings: Process

Pre-approved buildings are permitted in any zoning district that allows the selected building type. This process offers high-quality architectural plans with contingent building and site development approval. In exchange for time and cost savings, the building must be built to match the floor plans and facade designs, including all architectural details with only minor deviations allowed. **If you are ready to get started, contact the Planning & Zoning office at (812) 948-5333 or swood@cityofnewalbany.com**

	LDR	MDR	TR	DT	MC	MU
Bungalow	✓	✓	✓	✓		✓
Two-Story	✓	✓	✓	✓		✓
Cottage	✓	✓	✓	✓		✓

Key: ✓ Allowed

Step 1: Site

- (1) **Building Type:** Select a building type from the available pre-approved plans catalog.
- (2) **Zoning District:** Confirm that the selected building type is allowed in the applicable zoning district and can fit on your property, including all setbacks required by the development standards of Chapter 4 of the City of New Albany Zoning Ordinance.
- (3) **Contact:** Reach out to the New Albany Building Department to obtain the Plan Set for your building type.
- (4) **Survey:** Locate or purchase a survey of your property from a local licensed land surveyor.
- (5) **Site Plan:** Identify the preferred site configuration and orientation for your lot. Draw a site plan to show that all development standards are met. Site plans must be drawn to an engineer scale (e.g., 1" = 20') and include the size of the property (lot dimensions and area) as well as the size and setbacks of all proposed structures located on the property.

Step 2: Design Development

- (1) **Facade Option:** Select from the available elevation design options, including all applicable details, and an exterior siding material per the provided building set.
- (2) **Deviations:** Review the list of acceptable minor design deviations and discuss with the City. If any proposed changes are not listed, you are required to hire an architect to adjust the plans and submit updated drawings to the City.
- (3) **Contacts:** Identify your General Contractor and any sub-contractors (electrician, plumber, and HVAC information) that you will be working with to complete your pre-approved building. Ensure that they are familiar with the pre-approved building requirements and any design selections you desire. Contractors should be notified of the selected plan orientation and elevation option. Any pages of the permit set that do not apply to your selected elevation option should be removed or marked to avoid confusion.
- (4) **Cost Estimate:** Confirm the estimated cost of labor and materials with your contractor. Use the Small Developer Handbook for guidance on base assumptions and selections.

Step 3: Submittal

- (1) **Permit Application:** Submit your site plan, application, and associated fees to the Building Department.
- (2) **Review:** The Building Department will review your complete application. They will issue a release approval or let you know if any additional information or changes are required. Pre-approval may not be granted if your property is in a floodplain; requires an additional drainage report; or if your site plan does not meet the site configuration guidelines or requires a variance.
- (3) **Exterior Inspection:** Once construction begins of a pre-approved building, on-site review of selected details and building elements will be required. This inspection will happen concurrently with the required building inspections.

City of New Albany Pre-Approved Buildings: Variations

The execution of pre-approved buildings shall meet the design of the provided plans to the greatest extent possible. Unless otherwise noted, exterior dimensions shall not be increased or decreased. Interior finishes, fixtures, and appliances may be determined at the discretion of the applicant. The following design deviations are allowed by administrative approval. The contractor is required to confirm that any modifications are code compliant, appropriate, and complete prior to construction.

Variations to Reduce Construction Costs

Windows: The location, proportion, and approximate size of windows may not be changed. However, the following revisions are acceptable:

- Windows on side and rear elevation that are not required for egress or ventilation may be removed. Windows may not be removed from any front facade or corner facade facing a street.
- Simulated divided lights (SDL) muntins may be removed or changed as desired.
- Double-hung windows may be replaced with single-hung. A transom type window may be used in any bathroom location.



Optional windows on side facade



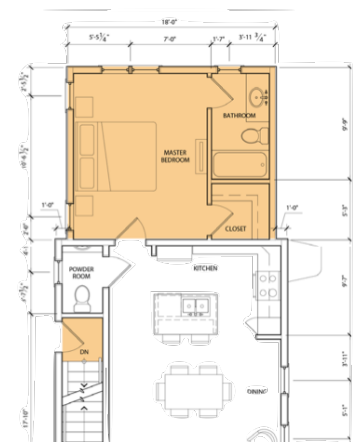
Porch columns and brackets may be simplified or removed

Materials & Details: All buildings shall install the prescribed trim, eave, and porch details. However, exterior details may be adjusted as followed:

- Vinyl or cement board siding may be used in any color. Other materials may be approved by staff.
- Porch columns may be simplified to 6" x 6" posts with no detail
- Railing design may be change or removed in accordance with the Building Code
- Side entry awnings or eave brackets may be removed
- Rafter tails may be falsely applied (sistered or toe-nailed) rather than an extension of the roof rafter.

Foundation & Walls: Any deviations to design or structure must comply with all applicable codes and regulation. Possible adjustments include:

- Foundation walls left unfinished concrete instead of parge coat
- Exterior walls may be constructed using 2x4 structure or other pre-engineered wall system that meets design intent
- Basement may be replaced with a slab on grade foundation



A rear extension or side entrance may be added to accommodate additional living spaces

City of New Albany Pre-Approved Buildings: Exterior Inspections

The execution of pre-approved buildings shall meet the design of the provided plans to the greatest extent possible. The exterior “in the field” inspection should confirm compliance with the drawing set. The contractor is responsible for contacting Building to schedule the required inspections. Inspections will pay specific attention to the following elements:

Building Type Selection: Building permit

>> Confirm that the building type is allowed in the applicable zoning district and meets any site plan requirements noted on page A-1.01 of the plan set. Mark selections below.

Zoning District

LDR	MDR	TR	DT	MC	MU
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Building Type

BUNGALOW	SHOTGUN	CAMEL BACK	TWO STORY	DUPLEX
TRIPLE DECKER	COTTAGE			

Site Plan Configuration

CORNER LOT	INTERIOR LOT WITH ALLEY ACCESS	INTERIOR LOT WITHOUT ALLEY ACCESS
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Building Placement: Foundation Inspection

>> Confirm correct layout of the building on the lot:

- Building Orientation _____
- Fits within allowed lot width? _____
- Located on a corner lot? _____ If yes, check for proper orientation of plan
- Setbacks F: _____ C: _____ S: _____ R: _____

Building Elevations: Framing Inspection

>> Check elevations for the following:

- Facade option selected _____
- Placement of minimum required windows (measured to center line of opening)
- Confirm correct head height of windows (measure to rough opening)
- Ground 1st floor level height above grade

Architectural Details: Pre-Final Inspection

Contractor will need to schedule inspection if would like architectural details inspected prior to the Final Inspection. Any details not consistent with the Plan Set will need to be addressed prior to issuing of a occupancy permit.

>> Check following detail elements for compliance:

- Porch columns (Option A/B/C) _____
- Eave detail (Option A/B/C) _____
- Trim details visible from the street (i.e. window surrounds, corner boards, frieze board, water table trim, and skirt board)

Site Development: Final Inspection

>> Check the site plan for the following regulations:

- Walkway to main entrance
- Shade Trees provided