



CITY OF NEW ALBANY - Pre-Approved Building Plans

MAYOR JEFF M. GAHAN





INTRODUCTION

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The following document has been developed to assist and encourage those interested in contributing to the infill of the currently vacant residential infrastructure in the City of New Albany, Indiana. Interested parties will be required to meet the following guidelines, in combination with the city's current [Zoning Ordinance](#).

The included housing forms and floor plans have been designed and conditionally pre-approved to blend with both the existing historical vernacular, as well as changes in modern material and construction methods. This process shall assist developers / investing parties in pursuing expedited permitting and construction schedules.

As part of Mayor Jeff Gahan's innovative GROWTH (Generating Residences, Opportunities, and Wealth through Housing) initiative, the City of New Albany is proud to introduce our Pre-Approved Building Plans program. This is a direct response to the critical housing needs identified in the 2023 University of Louisville Urban Studies Institute housing study, and aims to provide new opportunities for home ownership in our city.

The Pre-Approved Building Plans program is a cornerstone of the GROWTH initiative, designed to streamline the housing development process and make homeownership more accessible to New Albany residents. By offering a curated selection of pre-approved building designs, we're reducing barriers to construction and homeownership, particularly for first-time buyers looking to plant their roots in our community.

Our catalog of Pre-Approved Building Plans features a diverse range of contextually appropriate house plans. These plans have been carefully crafted to reflect the unique character of New Albany while meeting the evolving needs of our residents. By choosing a pre-approved plan, builders and homeowners can significantly reduce the time and costs associated with custom design and approval processes, accelerating the path to new home construction.

This initiative not only addresses our city's housing needs but also aligns with Mayor Gahan's vision of homeownership as a key component of the American Dream. "We know that home ownership is a key component of the American Dream, and we are committed to providing new incentives and pathways to homeownership for the people of New Albany," stated Mayor Jeff Gahan. By facilitating the construction of new single-family homes, we're working to balance our housing market and create opportunities for wealth-building through property ownership.

We invite all New Albany residents, future residents, and developers to explore the possibilities offered by our Pre-Approved Building Plans.

For more information on this process please see [page 03](#).

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"BUTTON"

THIS DOCUMENT IS EQUIPPED WITH
HYPERLINKED NAVIGATION "BUTTONS"
FOR EASE OF USE.

City of New Albany Pre-Approved Buildings: Process

Pre-approved buildings are permitted in any zoning district that allows the selected building type. This process offers high-quality architectural plans with contingent building and site development approval. In exchange for time and cost savings, the building must be built to match the floor plans and facade designs, including all architectural details with only minor deviations allowed. If you are ready to get started, contact the Redevelopment and Economic Development office at (812) 948-5333 or cjohnson@cityofnewalbany.com

	LDR	MDR	TR	D	MC	MU
Bungalow						
Shotgun						
Camel Back						
Trad Two-Story						
Town Home						
Triple Decker						
Cottage						

Key: Allowed

Step 1: Site

- Building Type:** Select a building type from the available pre-approved plans catalog.
- Zoning District:** Confirm that the selected building type is allowed in the applicable zoning district and can fit on your property, including all setbacks required by the development standards of Chapter 4 of the City of New Albany Zoning Ordinance.
- Contact:** Reach out to the Redevelopment and Economic Development Office to obtain the Plan Set for your building type.
- Survey:** Locate or purchase a survey of your property from a local licensed land surveyor.
- Site Plan:** Identify the preferred site configuration and orientation for your lot. Draw a site plan to show that all development standards are met. Site plans must be drawn to an engineer scale (e.g., 1" = 20') and include the size of the property (lot dimensions and area) as well as the size and setbacks of all proposed structures located on the property.

Step 2: Design Development

- Facade Option:** Select from the available elevation design options, including all applicable details, and an exterior siding material per the provided building set.
- Deviations:** Review the list of acceptable minor design deviations and discuss with the City. If any proposed changes are not listed, you are required to hire an architect to adjust the plans and submit updated drawings to the City.
- Contacts:** Identify your General Contractor and any sub-contractors (electrician, plumber, and HVAC information) that you will be working with to complete your pre-approved building. Ensure that they are familiar with the pre-approved building requirements and any design selections you desire. Contractors should be notified of the selected plan orientation and elevation option. Any pages of the permit set that do not apply to your selected elevation option should be removed or marked to avoid confusion.
- Cost Estimate:** Confirm the estimated cost of labor and materials with your contractor. Use the Small Developer Handbook for guidance on base assumptions and selections.

Step 3: Submittal

- Permit Application:** Submit your site plan, application, and associated fees to the Building Department.
- Review:** The Building Department will review your complete application. They will issue a release approval or let you know if any additional information or changes are required. Pre-approval may not be granted if your property is in a floodplain; requires an additional drainage report; or if your site plan does not meet the site configuration guidelines or requires a variance.
- Exterior Inspection:** Once construction begins of a pre-approved building, on-site review of selected details and building elements will be required. This inspection will happen concurrently with the required building inspections.

City of New Albany Pre-Approved Buildings: Variations

The execution of pre-approved buildings shall meet the design of the provided plans to the greatest extent possible. Unless otherwise noted, exterior dimensions shall not be increased or decreased. Interior finishes, fixtures, and appliances may be determined at the discretion of the applicant. The following design deviations are allowed by administrative approval. The contractor is required to confirm that any modifications are code compliant, appropriate, and complete prior to construction.

Variations to Reduce Construction Costs

- Windows:** The location, proportion, and approximate size of windows may not be changed. However, the following revisions are acceptable:
- Windows on side and rear elevation that are not required for egress or ventilation may be removed. Windows may not be removed from any front facade or corner facade facing a street.
 - Simulated divided lights (SDL) muntins may be removed or changed as desired.
 - Double-hung windows may be replaced with single-hung. A transom type window may be used in any bathroom location.

- Materials & Details:** All buildings shall install the prescribed trim, eave, and porch details. However, exterior details may be adjusted as followed:
- Cement board siding may be used in any color. Other materials may be approved by staff.
 - Porch columns may be simplified to 6" x 6" posts with no detail.
 - Railing design may be change or removed in accordance with the Building Code.
 - Side entry awnings or eave brackets may be removed.
 - Rafter tails may be falsely applied (sistered or toe-nailed) rather than an extension of the roof rafter.

- Foundation & Walls:** Any deviations to design or structure must comply with all applicable codes and regulation. Possible adjustments include:
- Foundation walls left unfinished concrete instead of parge coat.
 - Exterior walls may be constructed using 2x4 structure or other pre-engineered wall system that meets design intent.
 - Interior layouts may be adjusted if no exterior structure or window location is affected.

City of New Albany Pre-Approved Buildings: Exterior Inspections

The execution of pre-approved buildings shall meet the design of the provided plans to the greatest extent possible. The exterior "in the field" inspection should confirm compliance with the drawing set. The contractor is responsible for contacting the Building Commissioner to schedule the required inspections. Inspections will pay specific attention to the following elements:

Building Type Selection: Building permit

>> Confirm that the building type is allowed in the applicable zoning district and meets any site plan requirements noted on page A-1.01 of the plan set. Mark selections below.

Zoning District

LDR

MDR

TR

D

MC

MU

Building Type

BUNGALOW

SHOTGUN

CAMEL BACK

TRADITIONAL 2-STORY

TOWN HOME

TRIPLE DECKER

COTTAGE

Site Plan Configuration

CORNER LOT

INTERIOR LOT WITH ALLEY ACCESS

INTERIOR LOT WITHOUT ALLEY ACCESS

Building Placement: Foundation Inspection

- >> Confirm correct layout of the building on the lot:
- Building Orientation
 - Fits within allowed lot width?
 - Located on a corner lot? If yes, check for proper orientation of plan
 - Setbacks F: C: S: R:

Building Elevations: Framing Inspection

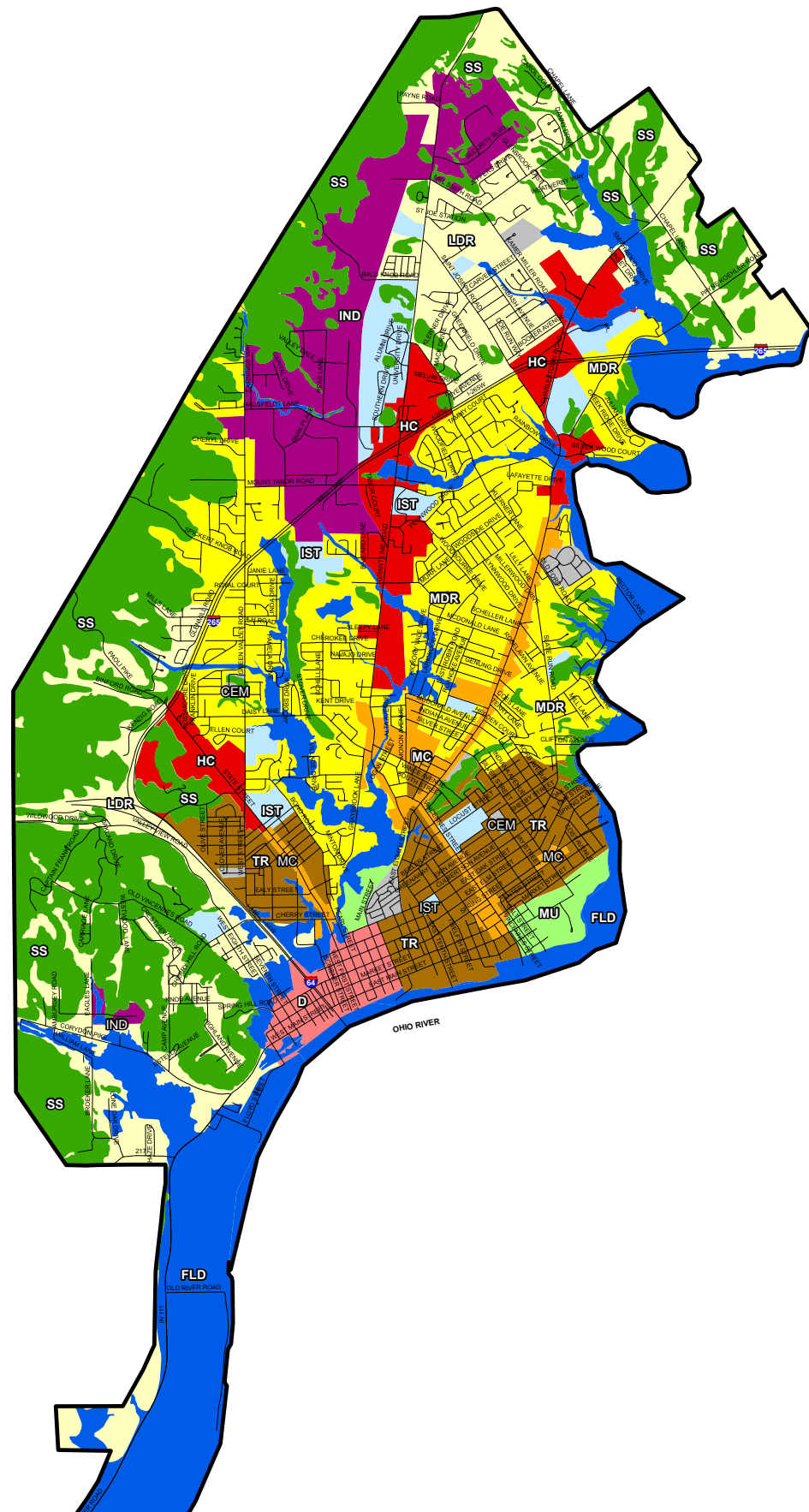
- >> Check elevations for the following:
- Facade option selected
 - Placement of minimum required windows (measured to center line of opening)
 - Confirm correct head height of windows (measure to rough opening)
 - Ground 1st floor level height above grade

Architectural Details: Pre-Final Inspection

- Contractor will need to schedule inspection if would like architectural details inspected prior to the Final Inspection. Any details not consistent with the Plan Set will need to be addressed prior to issuing of an occupancy permit.
- >> Check following detail elements for compliance:
- Porch columns (Option A/B/C)
 - Eave detail (Option A/B/C)
 - Trim details visible from the street (i.e. window surrounds, corner boards, frieze board, water table trim, and skirt board)

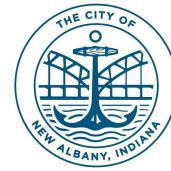
Site Development: Final Inspection

- >> Check the site plan for the following regulations:
- Walkway to main entrance
 - Shade Trees provided



New Albany & Two-Mile Fringe Area Official Zone Map

Adopted the 4th Day of February, 2019
Ordinance # Z-19-01



Zoning Classifications

- LDR - Low Density Residential
- MDR - Mixed Density Residential
- TR - Traditional Residential
- D - Downtown
- MU - Mixed Use
- MC - Mixed Use Corridor Commercial
- HC - Highway Oriented Commercial
- IND - Industrial
- IST - Institutional
- CEM - Cemetery
- FLD - Floodplain
- SS - Steep Slope

MAPPING INFORMATION

Zoning District Map snapshot provided for reference only.

Verify final site address requirements with City Planning Office prior to project submission.



MAPPING INFORMATION

Historical District Map snapshot provided for reference only.

Verify final site address requirements with City Planning Office prior to project submission.

MAP REFERENCES : HISTORIC DISTRICTS

Standard Building Permit application and fees shall still apply to this guide. These forms can be found at the link below :

[New Albany Residential Building Permit](#)

For more information on this process please see [page 03](#).



City of New Albany
Pre-Approved Building Application

Applicant Information

Applicant Name: _____

Phone Number: _____ Email: _____

Mailing Address: _____

Contractor Information (if using a contractor, list all contractors below)

Company Name: _____ Phone Number: _____

All contractors must be licensed and/or registered with the City of New Albany's Building Department. For more information:
<https://cityofnewalbany.com/building-department/>

Property Information

Complete this section only if applicable (i.e. you have selected a property to develop)

Property Address: _____

Zoning: _____ Local Historic District: Yes ____ No ____

Demographic Data (optional)

This section is optional. Only complete if you would like to provide this information

Gender: _____ Marital Status: _____ Race: _____

Age Range: _____ Approximate Yearly Income: _____ HH Size: _____

Pre-Approved Building Plan Type

Select the pre-approved building plan type you would like to receive. If you are unsure of which plan type you would want, please refer to the Pre-Approved Building Type Catalog.

Building Plan Type

- ☐ Bungalow
- ☐ Shotgun
- ☐ Camel Back
- ☐ Traditional Two-Story
- ☐ Town Home
- ☐ Triple Decker
- ☐ Cottage

Allowed Zoning Districts

LDR	MDR	TR	D	MC	MU
LDR	MDR	TR	D	MC	MU
LDR	MDR	TR	D	MC	MU
LDR	MDR	TR	D	MC	MU
LDR	MDR	TR	D	MC	MU
LDR	MDR	TR	D	MC	MU
LDR	MDR	TR	D	MC	MU

License Agreement and Terms of Use

I certify the above to be true and accurate to the best of my knowledge. I understand that I am receiving the above chosen pre-approved building type plan set. I understand that the plan set does not constitute a building permit and that I will need to apply for a building permit ahead of commencing construction of any development.

Users have permission to redraw or modify the Plans, subject to City approval, thereby creating a derivative work of the Plans. However, the copyright to the Plans remains the sole property of the Designers, and the Designers retain full right and title to any such derivative work. Users will provide the City a copy of the final modifications made to the Plans prior to the issuance of a permit. Modified Plans should clearly be marked as "modified" on any Plans that are submitted to the Building Department for review.

I understand that any changes other than the approved façade variations result in the plans no longer qualifying as pre-approved and must be submitted for review by the Building Department before a building permit is issued. Finally, I understand that I have obtained this plan set for my exclusive use and certify that I will not re-distribute or re-sell the building plan set to anyone for their use.

- ☐ By checking this, I certify that I fully understand and will fully comply with the above statements.
- ☐ By checking this, I certify that I fully understand and will fully comply with the License Agreement and Terms of Use of Pages 3-4.

Signature

Name Printed

Date

Completed applications should be submitted via email to tferree@cityofnewalbany.com OR dropped off or mailed to City of New Albany Building Department at 142 E Main St, Suite 206, New Albany, IN 47150.

Standard Building Permit application and fees shall still apply to this guide. These forms can be found at the link below :

[New Albany Residential Building Permit](#)

For more information on this process please see [page 03](#).



**City of New Albany
Pre-Approved Building Application**

License Agreement and Terms of Use

The City of New Albany’s Pre-Approved Building Program was developed to support neighborhood infill and economic opportunities for locals by offering a set of pre-approved building types. This resource assists with small to middle scale housing development in New Albany neighborhoods. The Permit Sets were designed to provide a catalog of housing options that offer a range of contextually appropriate plans to individuals and developers that are interested in pursuing new construction infill projects within the City of New Albany.

License and Usage

As a part of the Pre-Approved Building Program, the City of New Albany (the “City”) was granted a royalty-free, nonexclusive, and irrevocable license from the Designers to reproduce and use the above Pre-Approved Building Plans for development projects within the City of New Albany.

The City is able to distribute and grant usage of the Plans to third parties (“Users”) only for projects that are constructed within the city limits of New Albany, IN.

Users have permission to redraw or modify the Plans, subject to City approval, thereby creating a derivative work of the Plans. However, the copyright to the Plans remains the sole property of the Designers, and the Designers retain full right and title to any such derivative work. No permission is given to claim copyright on the original Plans or on any redrawn or modified Plans. Users will provide the City a copy of the final modifications made to the Plans prior to the issuance of a permit. Modified Plans should clearly be marked as “modified” on any Plans that are submitted to the City. Users accept full and complete liability for the accuracy and overall integrity of any derivative works created from the Plans. The original, redrawn, and/or modified Plans may not be sold, distributed or otherwise transferred without the express written consent of the Designers, and appropriate compensation to the Designers.

Users may loan the Plans to associates and subcontractors for their use in assisting the User with construction of the building(s) within the city limits of New Albany, IN. However, Users may not otherwise transfer or sell the Plans or any derivative works of the Plans, or any reproductions or rights thereto.

General

Users assume all responsibility and risk for the use of the Plans. The Plans are provided on an "as is" basis. The Designers and the City make no representations or warranties of any kind, express or implied, as to the use of the Plans to construct a home or other structure. To the full extent permissible by applicable law, the Designers and the City disclaim all warranties, express or implied, including, but not limited to, implied warranties of merchantability and fitness for a particular purpose, and noninfringement of intellectual property rights or other proprietary rights. The Designers and the City will not be liable for any damages of any kind arising from the use of these Plans, including, but not limited to direct, indirect, special, incidental, punitive, consequential damages or damages resulting from personal injury or loss of property arising out of or in any way connected with the use of these Plans, or the inability to use these Plans, or any portion thereof, whether based on contract, tort, negligence, strict liability or otherwise, even if the Designers and the City have been advised of the possibility of such damages.

Users agree to hold harmless and indemnify the Designers and the City from and against all claims, liabilities, losses, damages, and costs, including attorney’s fees, arising out of or connected with the use, construction, conversion,

modification, misinterpretation, misuse, or reuse by Users or others of the Plans, electronic files, drawings, and data provided by the Designers or the City.

It is the sole responsibility of the Users and their builder(s) to verify all aspects of the Plans and to ensure that the Plans meet all governing codes and requirements.



4.2 LOW DENSITY RESIDENTIAL

A. Purpose

The Low Density Residential (LDR) district is intended for low density residential Dwellings of a Single Family Dwelling type. Directly related types of uses, such as community services and accessory facilities, may also be allowed. This district provides a variety of Lot sizes and Dwelling types, as well as flexibility in development.

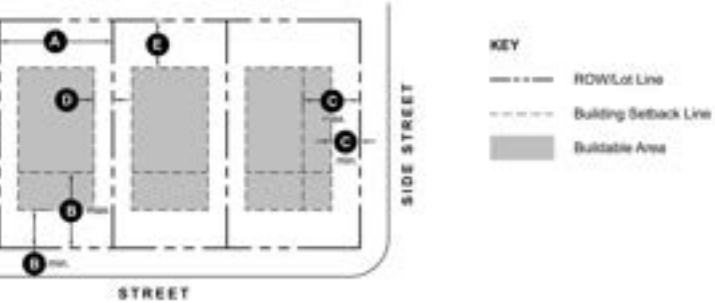


Figure 4-1: Low Density Residential Setbacks

B. Lot Requirements

Lot Size	7,200 s.f. min.	
Lot Width	60' min.	A
Lot Frontage/Street Frontage	40' min.	

C. Building Placement Requirements

Setback		
Front	20' min., 40' max. ¹	B
Street Side	15' min., 30' max. ¹	C
Side Yard ²	10' min.	D
Rear ³	25' min.	E

Distance Between Principal Building and Accessory Buildings	6' min.
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Garage Along Any Street	20' min.
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¹ For Lots less than 9,200 s.f. No maximum for Lots 9,200 s.f and greater.

² Additional 5' for every Story above the second Story.

³ 15' min. for attached, single-Story screened enclosures.

D. Building Form Requirements

Building Height	35' max.
Lot Coverage	40% max.

Ground Floor Area	
1 Story Dwelling	960 s.f. min.
Dwelling with more than 1 Story	750 s.f. min.



E. Parking Requirements

See [ARTICLE 6.16 - PARKING STANDARDS](#)

F. Miscellaneous Requirements

None

G. Use Table

See [CHAPTER 5 - PERMITTED USE TABLE](#)



QUALIFYING HOUSES

HOUSE

- 1
- 2
- 3
- 4
- 5
- 6
- 7



FULL ACCESS TO NEW ALBANY PLANNING AND ZONING CODES FOUND HERE : [Planning and Zoning Code](#).



4.3 MIXED DENSITY RESIDENTIAL

A. Purpose

The Mixed Density Residential (MDR) district is intended for the broadest range of residential densities from Single Family Dwellings to Multifamily Dwellings. This district provides a transition from low density residential uses to traditional neighbors and the City's urban core. The appropriateness of uses and Building types will depend upon compatibility of new Development with the adjacent neighborhood.

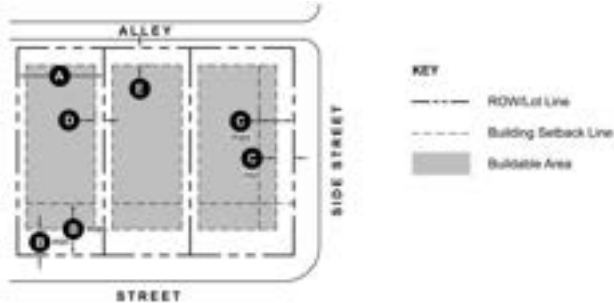


Figure 4-2: Mixed Density Residential Setbacks

B. Lot Requirements

Lot Size	
Single Family Dwelling	4,000 s.f. min.
Multi-Family Dwelling	2,000 s.f. min. per Dwelling unit
Lot Width	40' min. A
Lot Frontage/Street Frontage	30' min.

C. Building Placement Requirements

Setback	
Front	15' min., 30' max. B
Street Side	10' min., 20' max. ¹ C
Side Yard	5' min. D
Rear ^{1,2}	10' min. E
Distance Between Principal Building and Accessory Buildings	6' min.
Garage Along Any Street	20' min.

¹ Lots 6,500 square feet or less shall have a Rear Yard setback of 5' minimum.
² The side Yard setback between Dwelling units within the same Building shall be 0'.

D. Building Form Requirements

Building Height	35' max.
Lot Coverage	50% max.



Ground Floor Area	
1 Story Dwelling	740 s.f. min.
Dwelling with more than 1 Story	600 s.f. min.

E. Parking Requirements

See [ARTICLE 6.16 - PARKING STANDARDS](#)

F. Miscellaneous Requirements

Usable Open Space – For each Dwelling unit there shall be provided a minimum of 300 square feet of Usable Open Space, as defined by [Chapter 3 - Definitions](#).

G. Use Table

See [CHAPTER 5 - PERMITTED USE TABLE](#)



QUALIFYING HOUSES

HOUSE

- 1
- 2
- 3
- 4
- 5
- 6
- 7



FULL ACCESS TO NEW ALBANY PLANNING AND ZONING CODES FOUND HERE : [Planning and Zoning Code](#).



4.4 TRADITIONAL RESIDENTIAL

A. Purpose

The Traditional Residential (TR) district is intended for neighborhoods that are primarily residential in character with interspersed local Business uses to support the neighborhood. Single Family home Lots are compact. Multifamily housing types within the district include Duplex, Triplex, and small scale Multifamily Buildings. These Multifamily Buildings should serve as a transitional Use buffering Single Family homes from nearby, intense land uses such as regional Commercial or industrial uses. The permitted intensity of new Development will depend upon its compatibility with the existing neighborhood, proximity to major Streets and public transit, the distance to shopping, and environmental constraints.

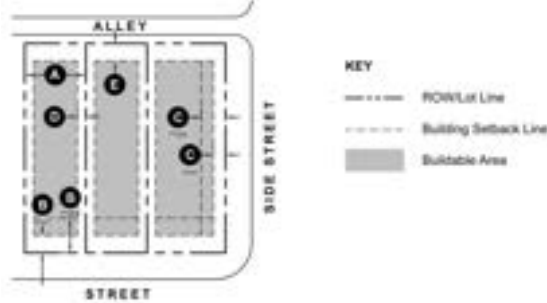


Figure 4-3: Traditional Residential Setbacks

B. Lot Requirements

Lot Size	
Single Family Dwelling	4,200 s.f. min.
Multifamily Dwelling	1,800 s.f. min. per Dwelling unit
Lot Width	35' min. A
Lot Frontage/Street Frontage	20' min.

C. Building Placement Requirements

Setback	
Front ¹	10' min., 20' max. B
Street Side ¹	7' min., 15' max. C
Side Yard ^{1, 2}	5' min. D
Rear ¹	10' min. E
Distance Between Principal Building and Accessory Buildings	6' min.
Garage Along Any Street	20' min.

¹ The minimum front, Street side, side, and rear setback requirements shall be increased by 5 feet for each Story over two.
² The side Yard setback between Dwelling units within the same Building shall be 0'.



D. Building Form Requirements

Building Height	3 stories, 45' max.
Lot Coverage	60% max.
Ground Floor Area	
1 Story Dwelling	740 s.f. min.
Dwelling with more than 1 Story	600 s.f. min.
Floor Area/Dwelling Unit for Multifamily Dwellings	450 s.f. plus 150 s.f. per Bedroom

E. Parking Requirements

See [ARTICLE 6.16 - PARKING STANDARDS](#)

F. Miscellaneous Requirements

Usable Open Space – For each Dwelling unit there shall be provided a minimum of 300 square feet of Usable Open Space, as defined by [Chapter 3 - Definitions](#).

G. Use Table

See [CHAPTER 5 - PERMITTED USE TABLE](#)



QUALIFYING HOUSES

HOUSE

- 1
- 2
- 3
- 4
- 5
- 6
- 7



FULL ACCESS TO NEW ALBANY PLANNING AND ZONING CODES FOUND HERE : [Planning and Zoning Code](#).

4.6 MIXED-USE CORRIDOR COMMERCIAL

A. Purpose

The Mixed-Use Corridor Commercial (MC) district is intended to accommodate a variety of Commercial and residential uses along the primary transportation corridors of the City. The mix of uses should create a high-quality pedestrian-oriented environment within walking distance of local neighborhoods. This district provides a variety of neighborhood-oriented Commercial uses including small-scale shopping centers, supermarkets, bakeries, pharmacies, variety stores, restaurants, laundries, and hardware stores. Residential uses are a Multifamily Building type. Mixed-Use Buildings are encouraged. Given the various uses and densities within and adjoining the district, new Development will need to be compatible with the adjacent uses.

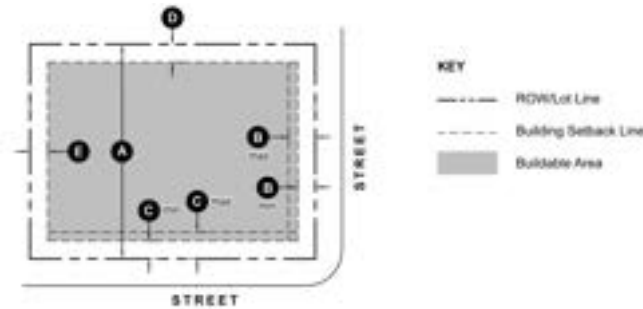


Figure 4-5: Mixed-Use Corridor Commercial Setbacks

B. Lot Requirements

Lot Size	Residential Uses	1,800 s.f. minimum per Dwelling unit
	Non-Residential Uses	No minimum
Lot Width	Residential Uses	75' min. A
	Non-Residential Uses	No minimum
Lot Frontage/Street Frontage	No minimum requirement for Street frontage provided that any Lot without Street frontage has an unobstructed access Easement at least 25' wide.	

C. Building Placement Requirements

Setback

Front	Residential Uses	20' min., 30' max.
	Non-Residential Uses adjacent to Residential Use and/or district	25' min., 35' max. B



Non-Residential Uses all others	No min.
Parking Area	30' min.
Street Side	
Residential Uses	10' min., 20' max.
Non-Residential Uses adjacent to Residential Use and/or district	20' min., 30' max. C
Non-Residential Uses all others	No min.
Parking Area	20' min.
Side Yard	
Residential Uses	5' min.
Non-Residential Uses adjacent to Residential Use and/or district	20' min. D
Non-Residential Uses all others	No min. ¹
Rear	
Residential Uses	10' min.
Non-Residential Uses adjacent to Residential Use and/or district	20' min. E
Non-Residential Uses all others	No min.
Distance Between Principal Building and Accessory Buildings	6' min.
Garage Along Any Street	
Where abuts R zone	20' min.
All others	No min.

¹Side Yard setback shall be a minimum of 5' if the Building is not located on the property line.

D. Building Form Requirements

Building Height	
Residential Uses	40' max.
Non-Residential Uses	35' max.
Lot Coverage	50% max.
Floor Area/Dwelling Unit for Multifamily Dwellings	450 s.f. plus 150 s.f. per Bedroom

E. Parking Requirements

See [ARTICLE 6.16 - PARKING STANDARDS](#)

F. Miscellaneous Requirements

See [Article 6.10](#) for the required landscape buffer where the parcel abuts a residential Use.

G. Use Table

See [CHAPTER 5 - PERMITTED USE TABLE](#)



QUALIFYING HOUSES

HOUSE

- 1
- 2
- 3
- 4
- 5
- 6
- 7



FULL ACCESS TO NEW ALBANY PLANNING AND ZONING CODES FOUND HERE : [Planning and Zoning Code](#).

4.7 DOWNTOWN

A. Purpose

The Downtown (D) district is intended for the expansion of residential, employment, Governmental, and recreational Uses currently found within the downtown area to continue its revitalization and create a high-quality pedestrian-oriented environment. Commercial uses, office space, residential uses, and compatible light industrial uses are appropriate in this district.

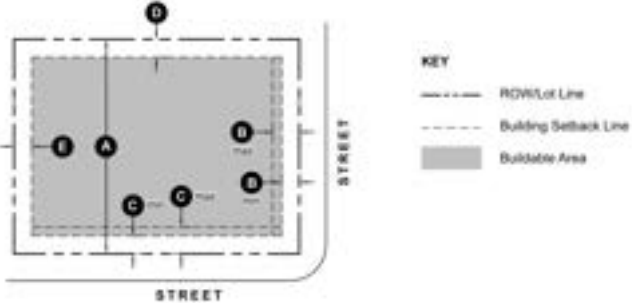


Figure 4-6: Downtown Setbacks

B. Lot Requirements		
Lot Size		
Residential Uses	900 s.f. per Dwelling unit	
Non-Residential Uses	No minimum	
Lot Width		
Residential Uses	35' min.	A
Non-Residential Uses	No minimum	
Lot Frontage/Street Frontage		
		No minimum requirement for Street frontage provided that any Lot without Street frontage has an unobstructed access Easement at least 25' wide.
C. Building Placement Requirements		
Setback		
Front		
Residential Uses	0' min., 10' max.	B
Non-Residential Use	0' min., 10' max.	
Street Side		
Residential Uses	15' min.	
Non-Residential Use adjoining a Residential District	5' min.	C
Non-Residential Use not adjoining a Residential District	0' min., 10' max. ¹	



Side Yard		
Residential Uses	10' min.	
Non-Residential Use adjoining a Residential District	10' min.	D
Non-Residential Use not adjoining a Residential District	0' min., 10' max. ¹	
Rear		
Residential Uses	20' min.	E
Non-Residential Use	15' min.	
Distance Between Principal Building and Accessory Buildings		
		6' min.
Garage Along Any Street		
Residential Uses	20' min.	
Non-Residential Use	0' min.	
¹ If the Building is not placed on the property line, the side setback shall be 5' minimum.		
D. Building Form Requirements		
Building Height		
Residential Uses	80' max.	
Non-Residential Uses	80' max.	
Lot Coverage		
Residential Uses	60% max.	
Non-Residential Uses	90% max.	
Ground Floor Area		
Single-Family Residential - 1 Story Dwelling	740 s.f. min.	
Single-Family Residential - with more than 1 Story	600 s.f. min.	
Floor Area/Dwelling Unit for Multifamily Dwellings		
Multifamily Residential	400 s.f. + 150 s.f. per Bedroom	
All other uses	No minimum	
E. Parking Requirements		
See ARTICLE 6.16 - PARKING STANDARDS		
F. Miscellaneous Requirements		
Where a non-residential Use in this district abuts a Residential District, a 6' high masonry wall and a Type B buffer shall be provided. (See Article 6.10 - Landscape Standards)		
G. Use Table		
See CHAPTER 5 - PERMITTED USE TABLE		



QUALIFYING HOUSES

HOUSE

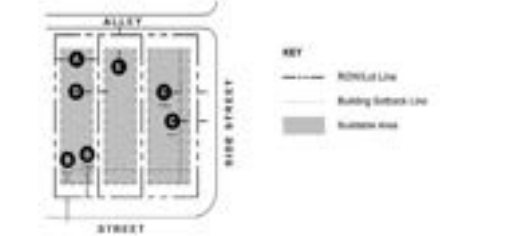
- 1
- 2
- 3
- 4
- 5
- 6
- 7

 FULL ACCESS TO NEW ALBANY PLANNING AND ZONING CODES FOUND HERE : [Planning and Zoning Code](#).

4.8 MIXED-USE

A. Purpose

The Mixed-Use (MU) district is intended to accommodate a variety of Commercial and residential uses. Office and professional services, and higher density residential uses are encouraged within this district. Mixed-Use Buildings are encouraged. Given the various uses and densities within and adjoining the district, new Development will need to be compatible with adjacent uses.



B. Lot Requirements		
Lot Size		
Single Family Residential Uses	4,000 s.f.	
Multifamily Residential Uses	1,800 s.f. per Dwelling unit	
All other uses	No minimum	
Lot Width		
Single Family Residential Uses	35' min.	A
Multifamily Residential Uses	60' min.	
All other uses	No minimum	
Lot Frontage/Street Frontage		
Single Family Residential Uses	30' min.	
Multifamily Residential Uses	25' min.	
Non-Residential	No minimum requirement for Street frontage provided that any Lot without Street frontage has an unobstructed access Easement at least 25' wide.	
C. Building Placement Requirements		
Setback		
Front		
Residential Uses	10' min., 20' max.	B
Non-Residential Uses	10' min., 20' max.	

Street Side		
Residential Uses	15' min.	C
Non-Residential Use adjoining a Residential District	5' min.	
Non-Residential Use not adjoining a Residential District	0' min. ¹	
Side Yard		
Residential Uses	15' min.	D
Non-Residential Use adjoining a Residential District	5' min.	
Non-Residential Use not adjoining a Residential District	0' min. ¹	
Rear		
Residential Uses	20' min.	E
Non-Residential Use	15' min.	
Distance Between Principal Building and Accessory Buildings	6' min.	
Garage Along Any Street		
Residential Uses	20' min.	
Non-Residential Use	0' min.	
¹ If the Building is not placed on the property line, the side setback shall be 5' minimum.		
D. Building Form Requirements		
Building Height		
Residential Uses	50' max.	
Non-Residential Use	35' max.	
Lot Coverage		
Residential Uses	50%	
Non-Residential Use	50%	
Ground Floor Area		
Single-Family Residential - 1 Story Dwelling	740 s.f. min.	
Single-Family Residential - with more than 1 Story	600 s.f. min.	
All other uses	No minimum	
Floor Area/Dwelling Unit for Multifamily Dwellings		
Multifamily Residential	450 s.f + 150 s.f. per Bedroom	
All other uses	No minimum	
E. Parking Requirements		
See ARTICLE 6.16 – PARKING STANDARDS		

F. Miscellaneous Requirements

Where a non-residential Use in this district abuts a Residential District, a 6' high masonry wall and a Type B buffer shall be provided. (See [Article 6.10 - Landscape Standards](#))

G. Use Table

See [CHAPTER 5 - PERMITTED USE TABLE](#)

QUALIFYING HOUSES

HOUSE

- 1
- 2
- 3
- 4
- 5
- 6
- 7

FULL ACCESS TO NEW ALBANY PLANNING AND ZONING CODES FOUND HERE : [Planning and Zoning Code](#).



Interior Program
2 Bedroom, 1.5 Bath
Cost Opinion
\$180,000 to \$220,000**
Zoning Districts
LDR, MDR, TR, DT, MU

BUNGALOW HOUSE

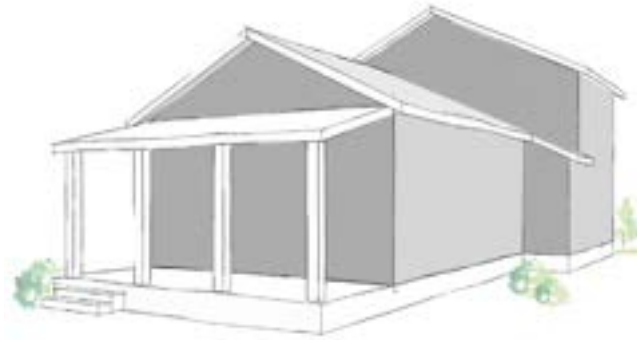
1



Interior Program
2 Bedroom, 1.5 Bath
Cost Opinion
\$211,800**
Zoning Districts
LDR, MDR, TR, DT, MU

SHOTGUN HOUSE

2



Interior Program
3 Bedroom, 2 Bath
Cost Opinion
\$295,200**
Zoning Districts
LDR, MDR, TR, DT, MU

CAMEL BACK HOUSE

3



3 Bedroom, 2.5 Bath
Cost Opinion
\$329,200**
Zoning Districts
LDR, MDR, TR, DT, MU

TRADITIONAL 2-STORY

4



Interior Program
TWO: 2 Bedroom, 2 Bath Condominiums
Cost Opinion
\$808,00**
Zoning Districts
MDR, TR, MUC, DT

TOWN HOME

5



Interior Program
THREE: 2 Bedroom, 1 Bath Condominiums
Cost Opinion
\$690,000**
Zoning Districts
MDR, TR, MUC, DT, MU

TRIPLE DECKER

6



Interior Program
2 Bedroom, 1 Bath
Cost Opinion
\$200,600**
Zoning Districts
LDR, MDR, TR, DT, MU

COTTAGE /ACCESSORY DWELLING UNIT

7

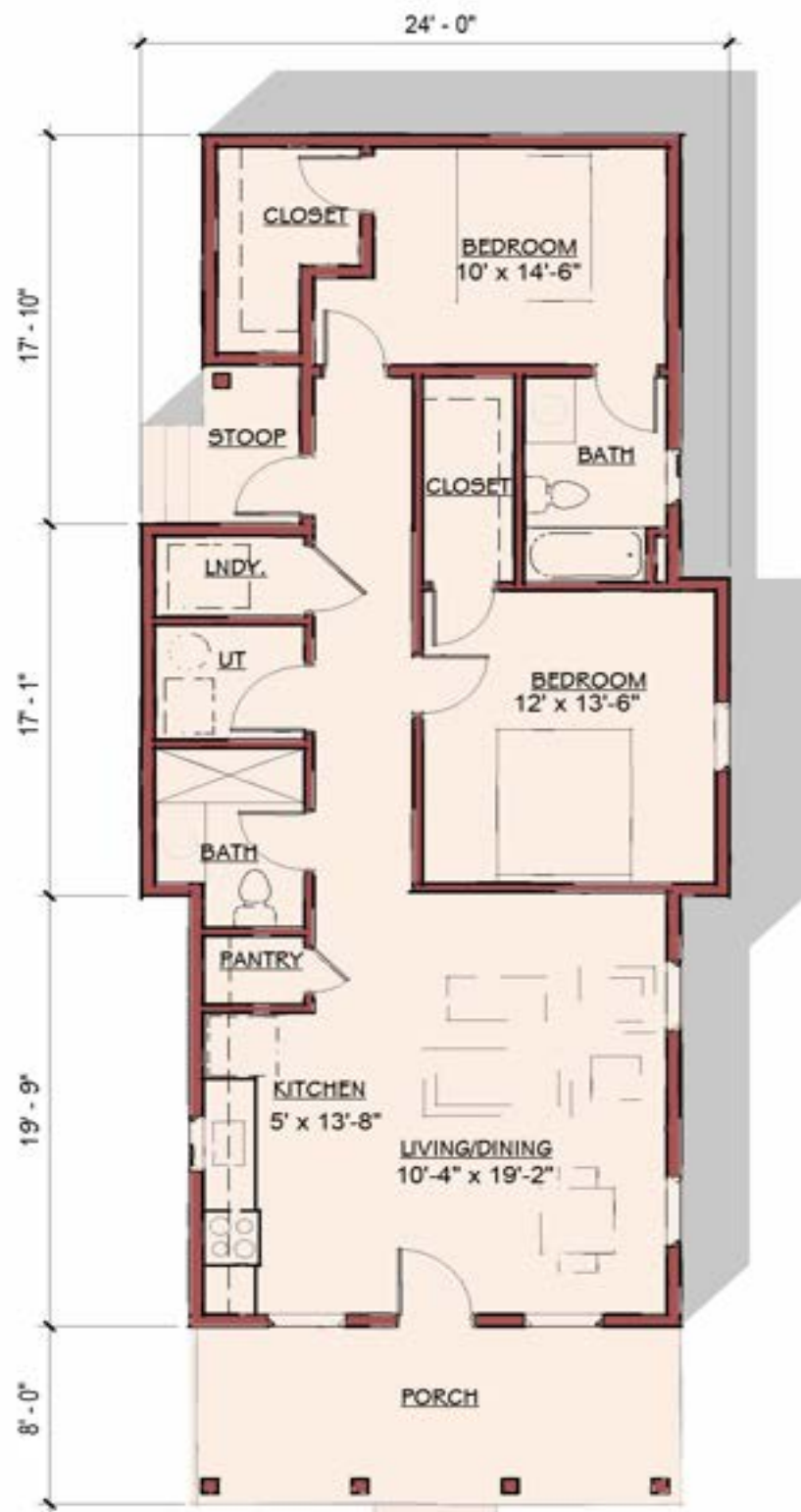
*The first floor finish floor elevation shall be similar to surrounding homes around the lot being developed.

**Cost per square foot are approximate only. Actual costs vary greatly depending upon actual interior and exterior finish selections and extent of detailing. Costs fluctuate with inflation and market cost impact. Please consult with a local home builder for more definitive pricing. Price per square foot is presumed to be approximately \$200/sf.



Bungalow





FIRST FLOOR PLAN

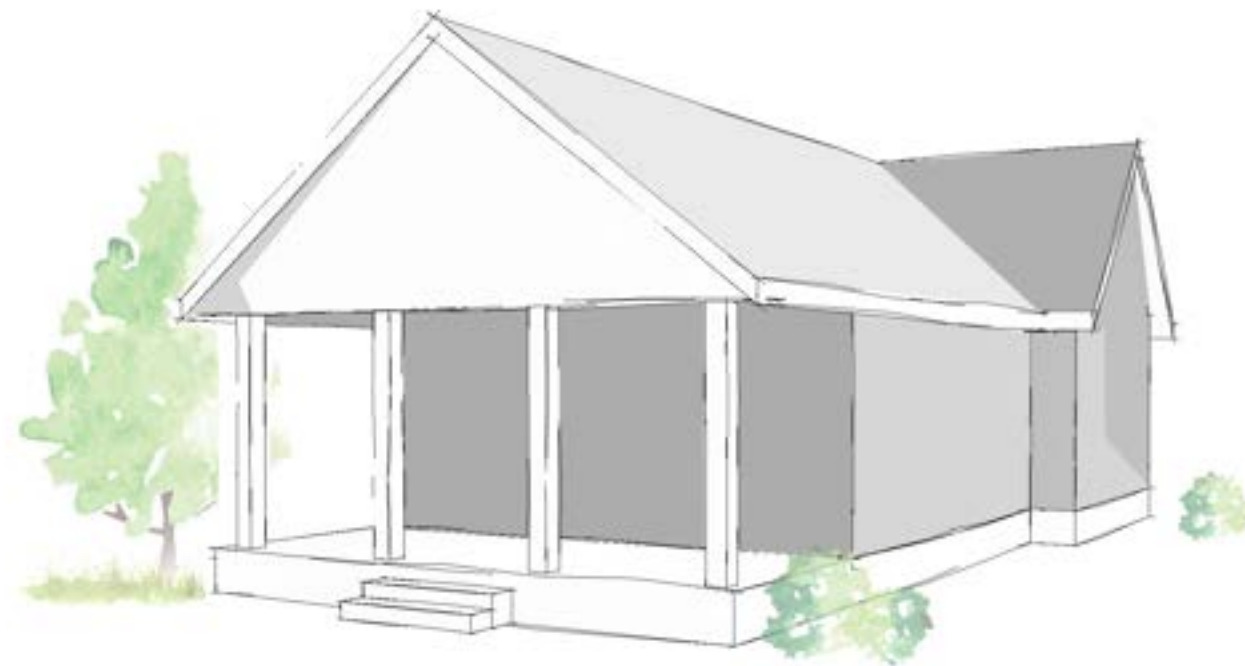
Zoning Districts

- LDR
- MDR
- TR
- DT
- MUC
- MU

FULL P&Z CODE ACCESS FOUND HERE
[Planning and Zoning Code.](#)

TYPE SUMMARY

General Dimensions	24' W x 62'-8"D	
Building Height	1 Story	
Gross SF	1st Floor	1124 SF
	Porch	163 SF
Interior Program	2 Bedroom, 1.5 Bath	
Cost Opinion	\$224,800	



GENERAL FORM 1

CEMENT BOARD SIDING
(BOARD AND BATTEN)

DIMENSIONAL SHINGLES



CEMENT BOARD SIDING
(LAP)

OPTION 1A



OPTION 1B

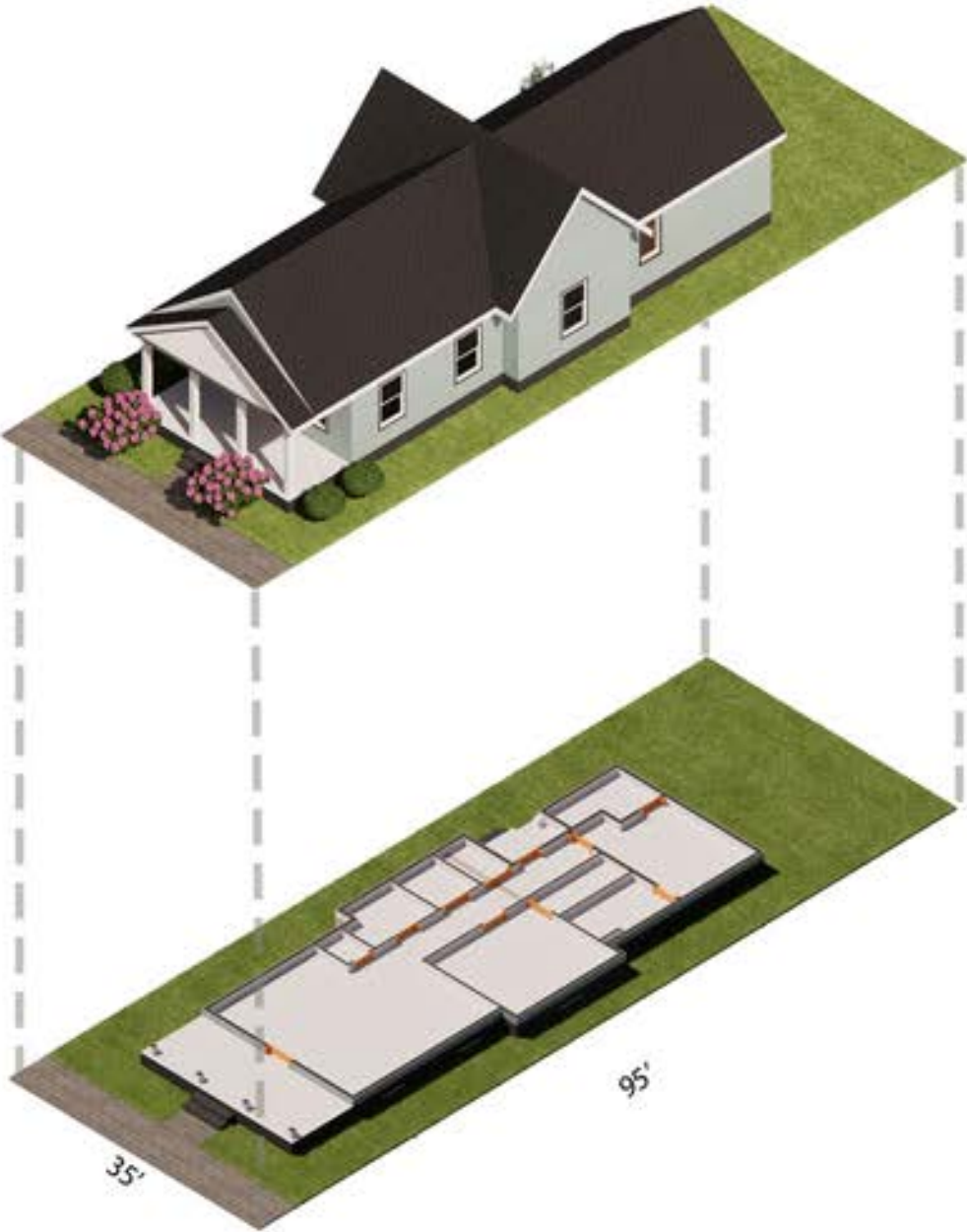


BRICK VENEER

OPTION 1C

Ideal Specifications

Lot	
Width	35'
Depth	95'
Area	3,325 sq. ft. .0763 acres
Units	
Number of Units	1
Typical Unit Size	1,124 sq. ft.
Density	
Net Density	29 du/acre
Gross Density	13 du/acre
Parking	
Parking Ratio	2 per unit
On-street Spaces	2
Off-street Spaces	0
Setbacks	
Front	0' - 10'
Side	10'





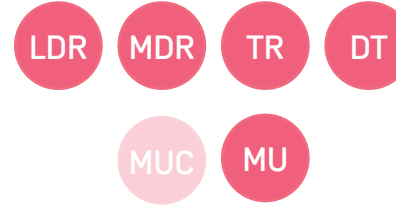
Shotgun





FIRST FLOOR PLAN

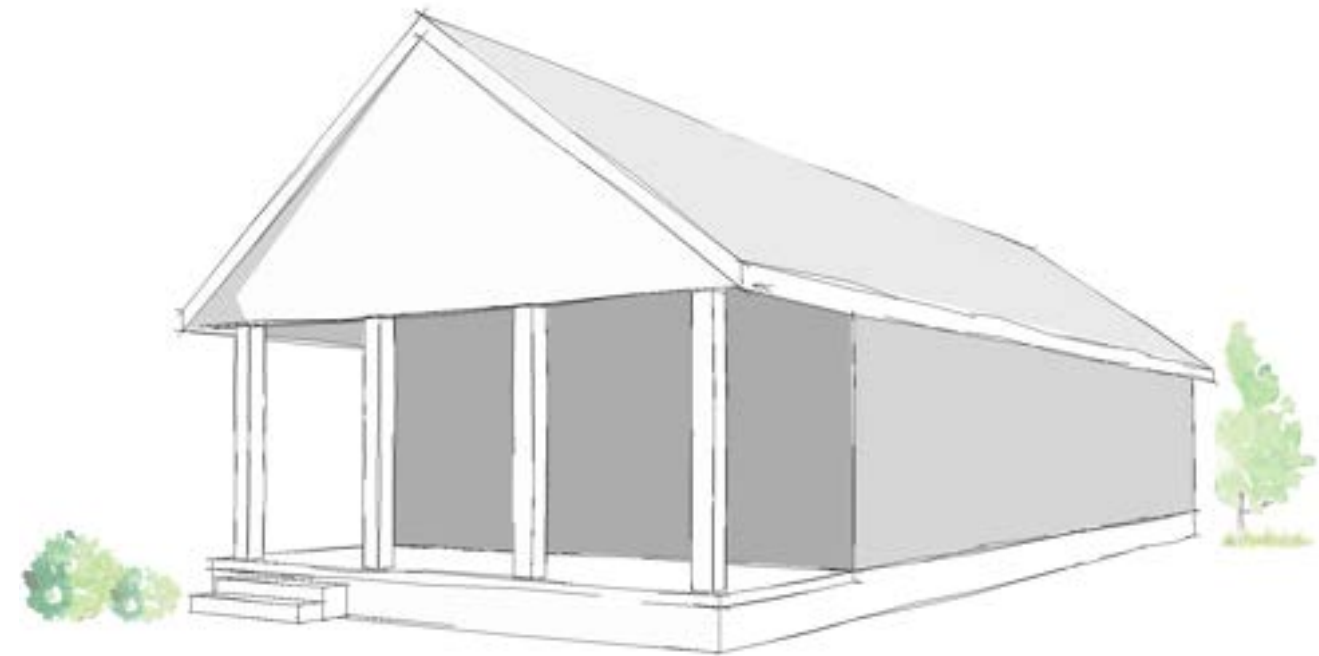
Zoning Districts



FULL P&Z CODE ACCESS FOUND HERE
[Planning and Zoning Code.](#)

TYPE SUMMARY

General Dimensions	20' W x 64'-4" D	
Building Height	1 Story	
Gross SF	1st Floor	1059 SF
	Porch	163 SF
Interior Program	2 Bedroom, 1.5 Bath	
Cost Opinion	\$211,800	



GENERAL FORM 2



OPTION 2A



OPTION 2B



OPTION 2C

CEMENT BOARD SIDING
(BOARD AND BATTEN)

DIMENSIONAL SHINGLES

CEMENT BOARD SIDING
(LAP)

BRICK VENEER

Ideal Specifications

Lot

Width	35'
Depth	95'
Area	3,325 sq. ft. .0763 acres

Units

Number of Units	1
Typical Unit Size	1,059 sq. ft.

Density

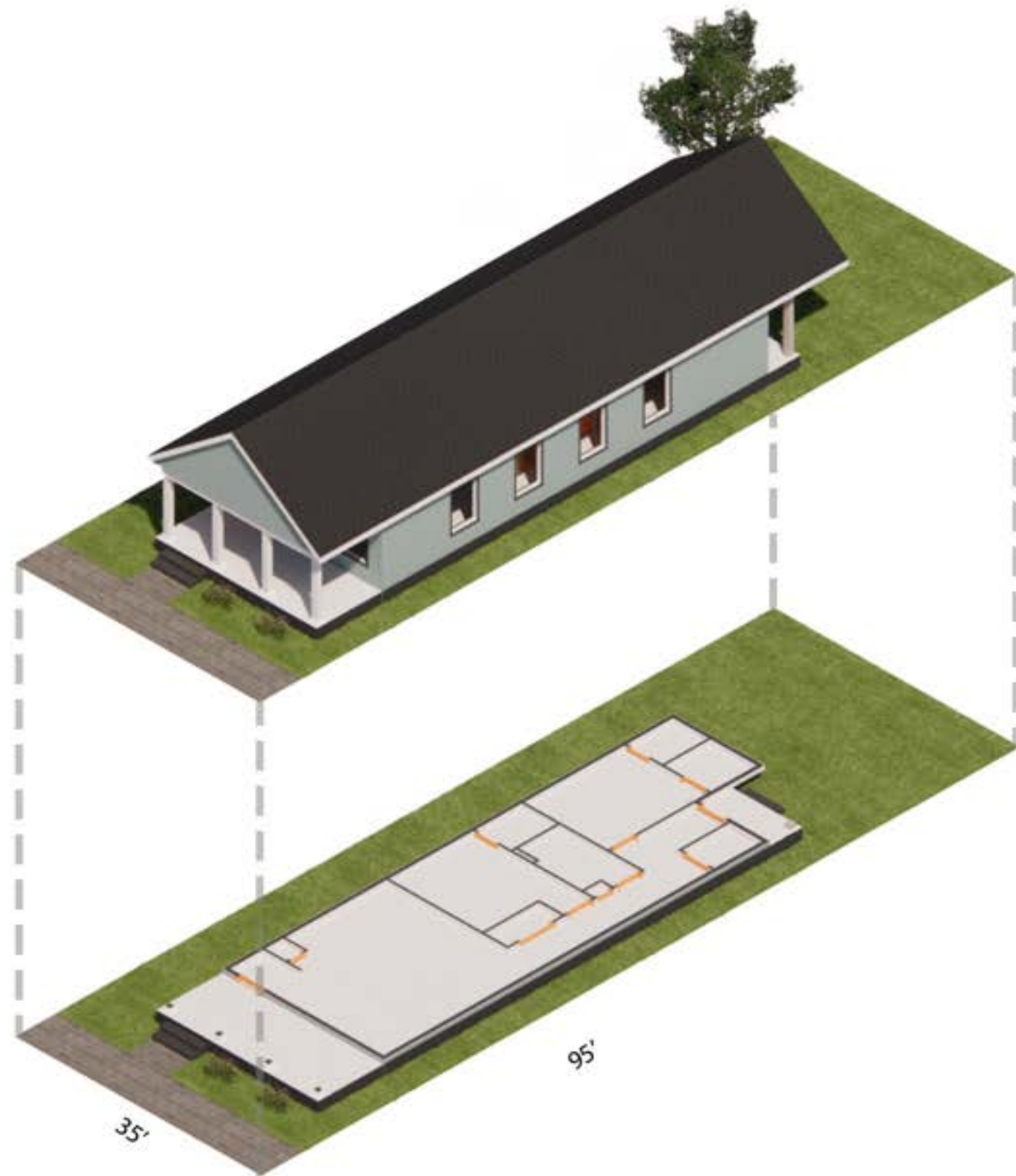
Net Density	29 du/acre
Gross Density	13 du/acre

Parking

Parking Ratio	2 per unit
On-street Spaces	2
Off-street Spaces	0

Setbacks

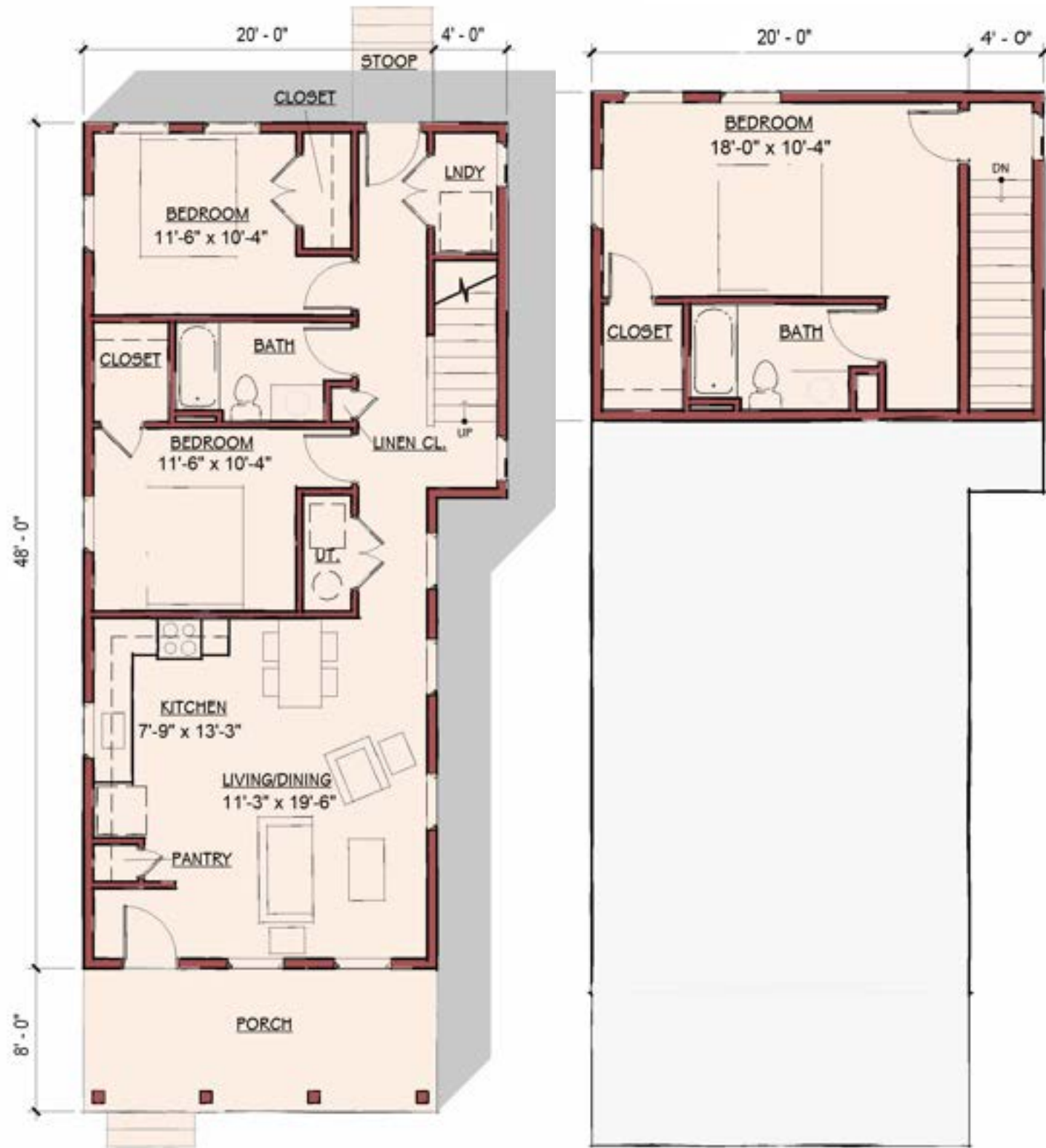
Front	0-10'
Side	10'





Camel Back

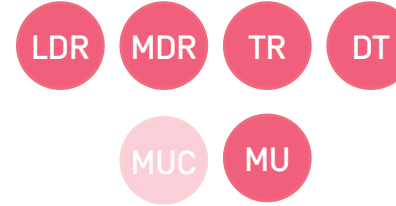




FIRST FLOOR PLAN

SECOND FLOOR PLAN

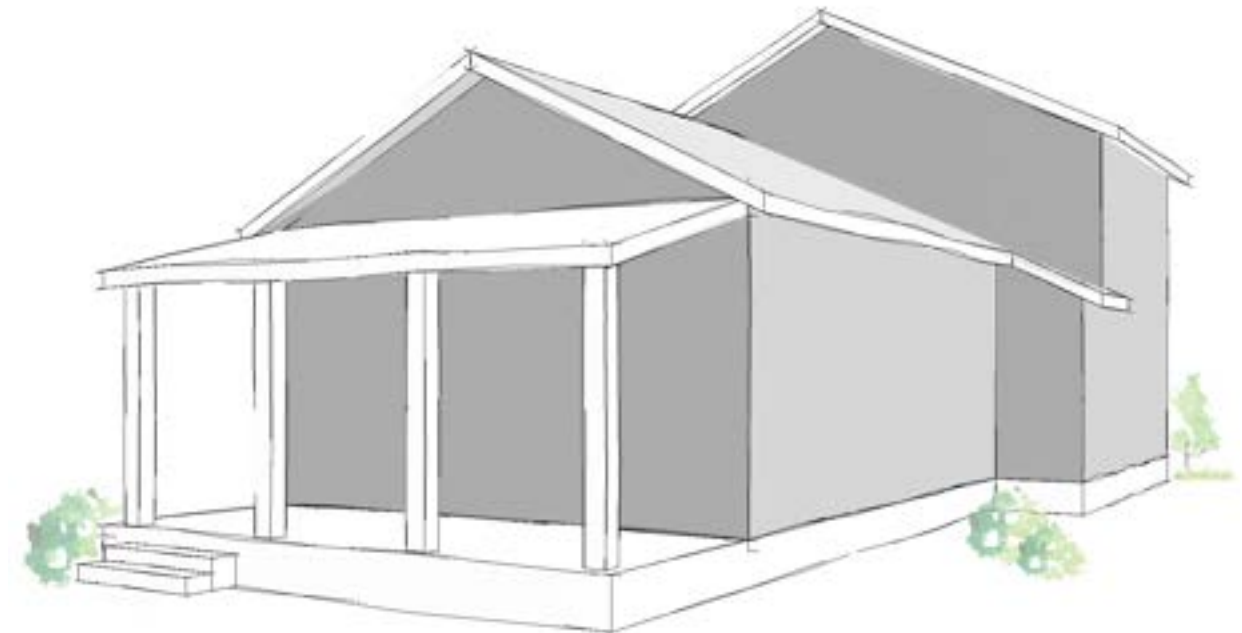
Zoning Districts



FULL P&Z CODE ACCESS FOUND HERE
[Planning and Zoning Code.](#)

TYPE SUMMARY

General Dimensions	24' W x 56' D	
Building Height	2 Story	
Gross SF	1st Floor	1,053 SF
	2nd Floor	423 SF
	Porch	163 SF
Interior Program	3 Bedroom, 2 Bath	
Cost Opinion	\$295,200	



GENERAL FORM 3



OPTION 3A



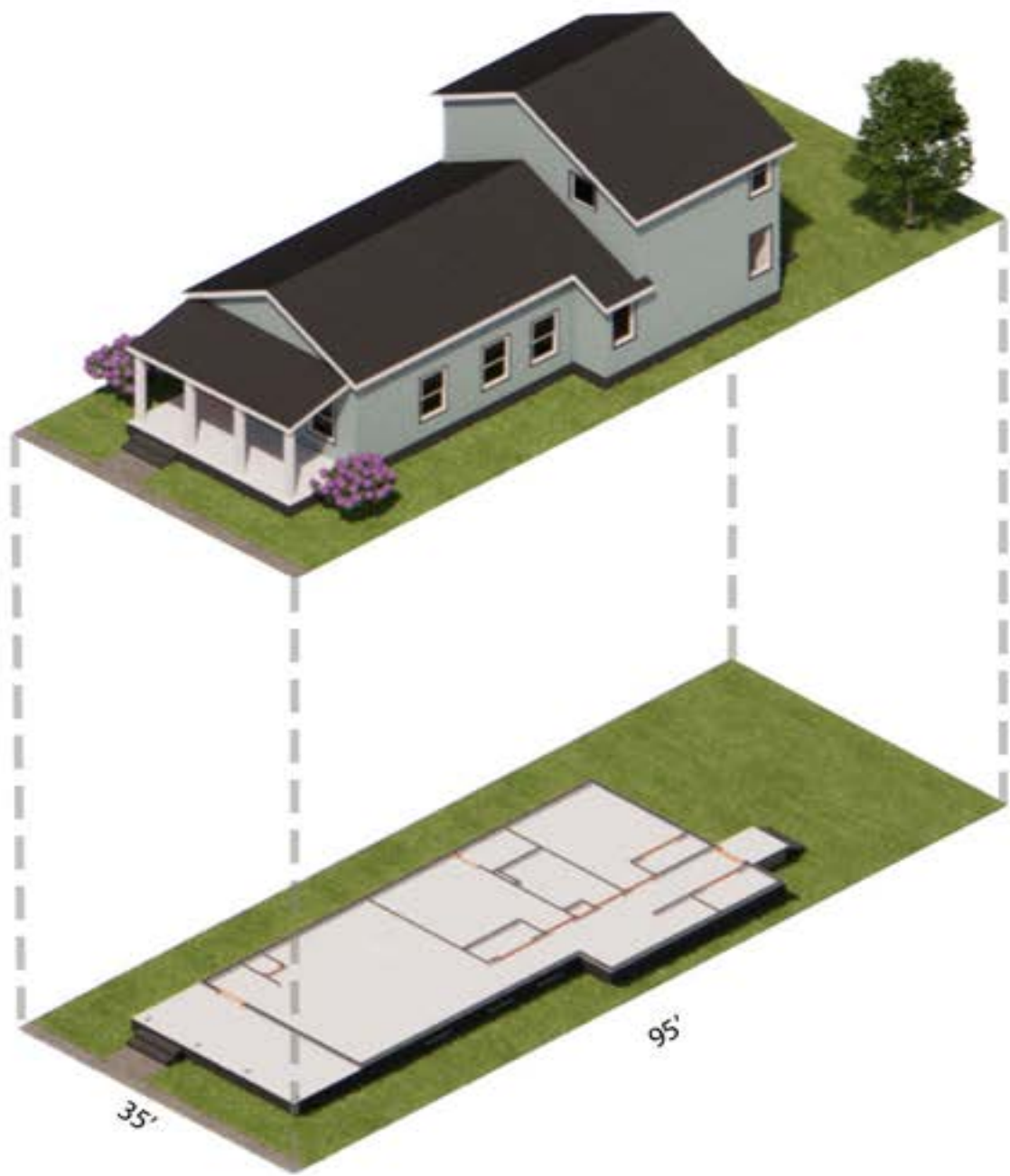
OPTION 3B



OPTION 3C

Ideal Specifications

Lot	
Width	35'
Depth	95'
Area	3,325 sq. ft. .0763 acres
Units	
Number of Units	1
Typical Unit Size	1,476 sq. ft.
Density	
Net Density	29 du/acre
Gross Density	13 du/acre
Parking	
Parking Ratio	2 per unit
On-street Spaces	2
Off-street Spaces	0
Setbacks	
Front	0' - 10'
Side	10'



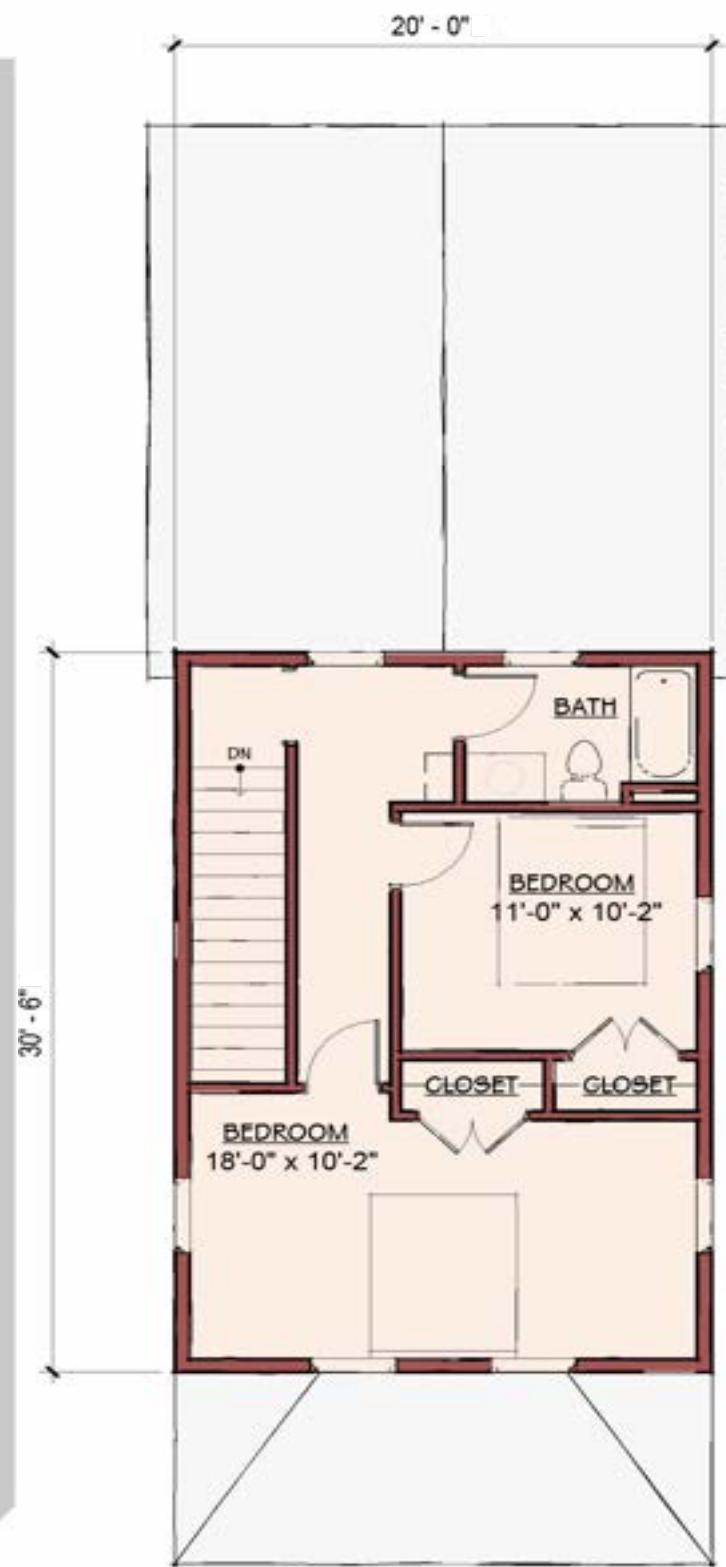


Traditional Two-Story



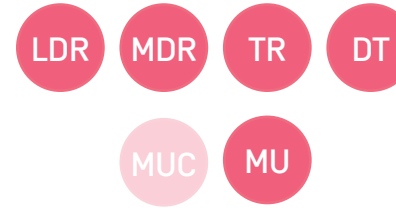


FIRST FLOOR PLAN



SECOND FLOOR PLAN

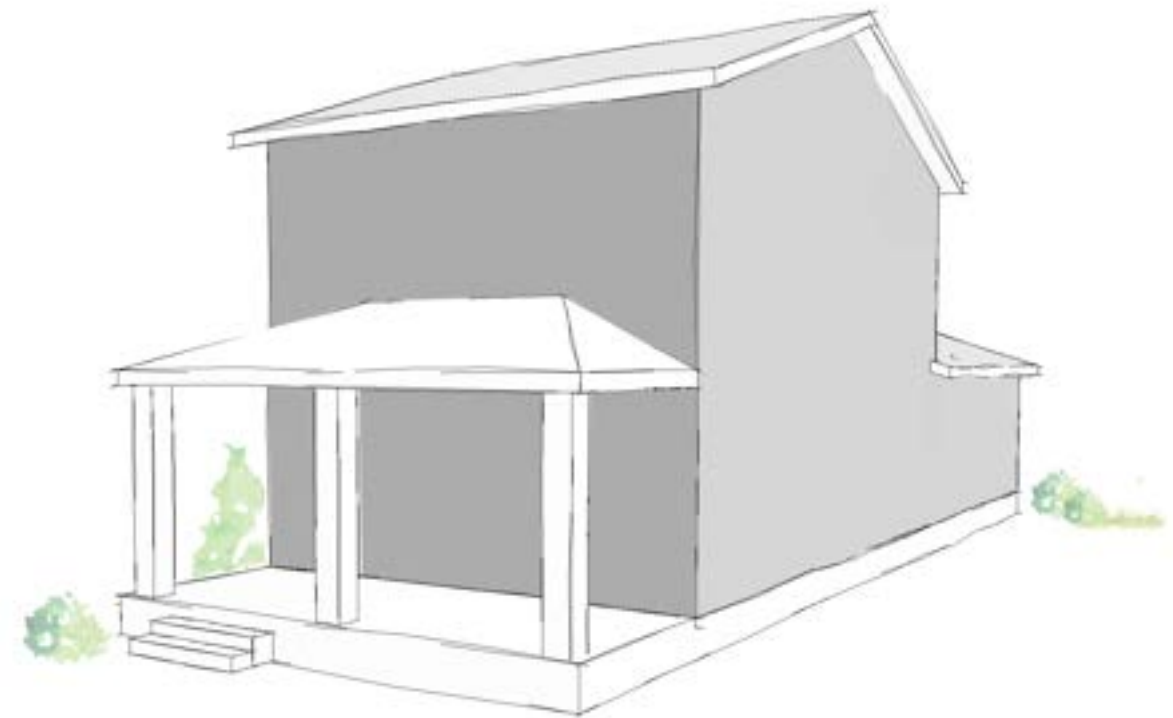
Zoning Districts



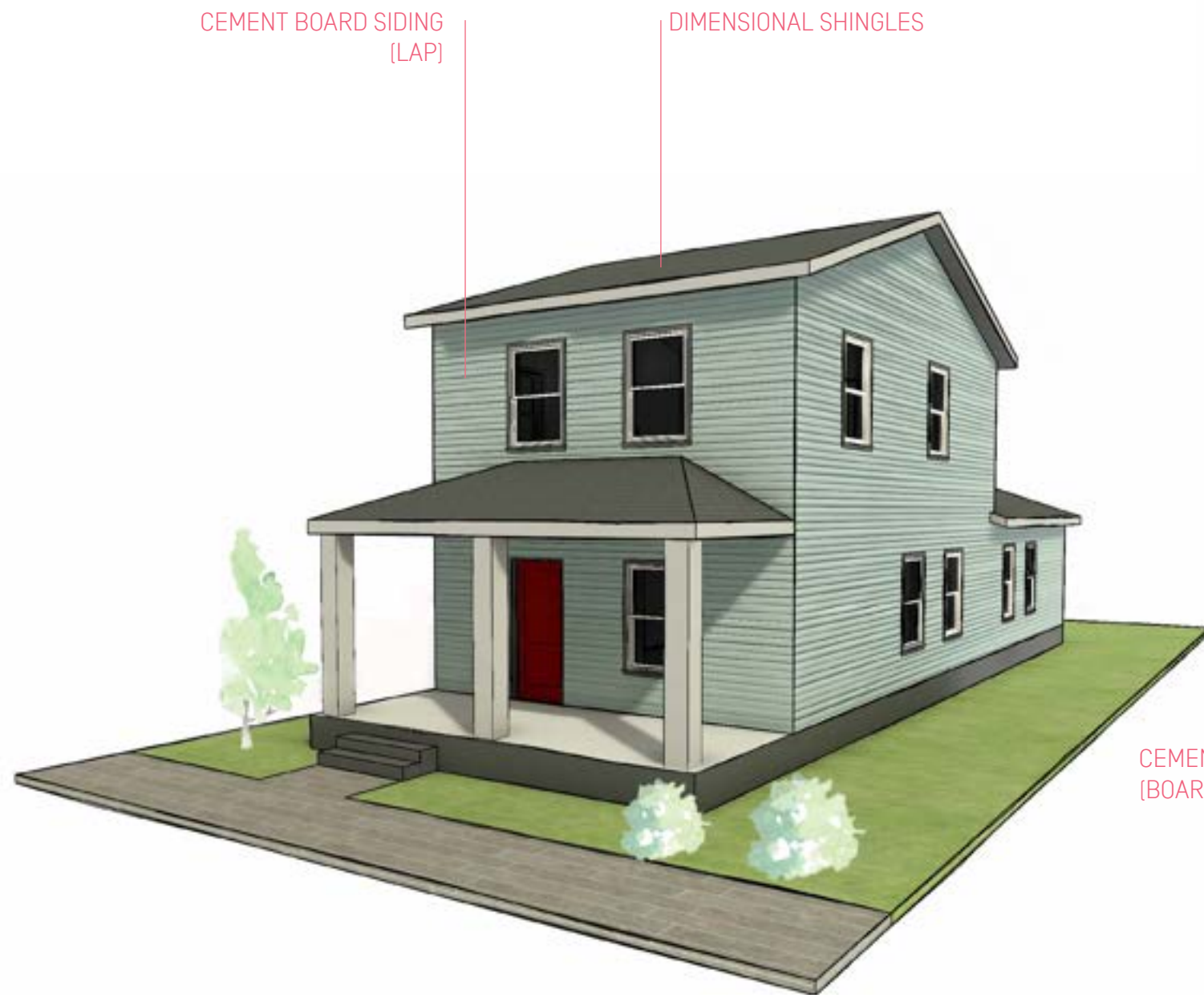
FULL P&Z CODE ACCESS FOUND HERE
[Planning and Zoning Code.](#)

TYPE SUMMARY

General Dimensions	20' W x 60' D	
Building Height	2 Story	
Gross SF	1st Floor	1029 SF
	2nd Floor	617 SF
	Porch	162 SF
Interior Program	3 Bedroom, 2.5 Bath	
Cost Opinion	\$329,200	



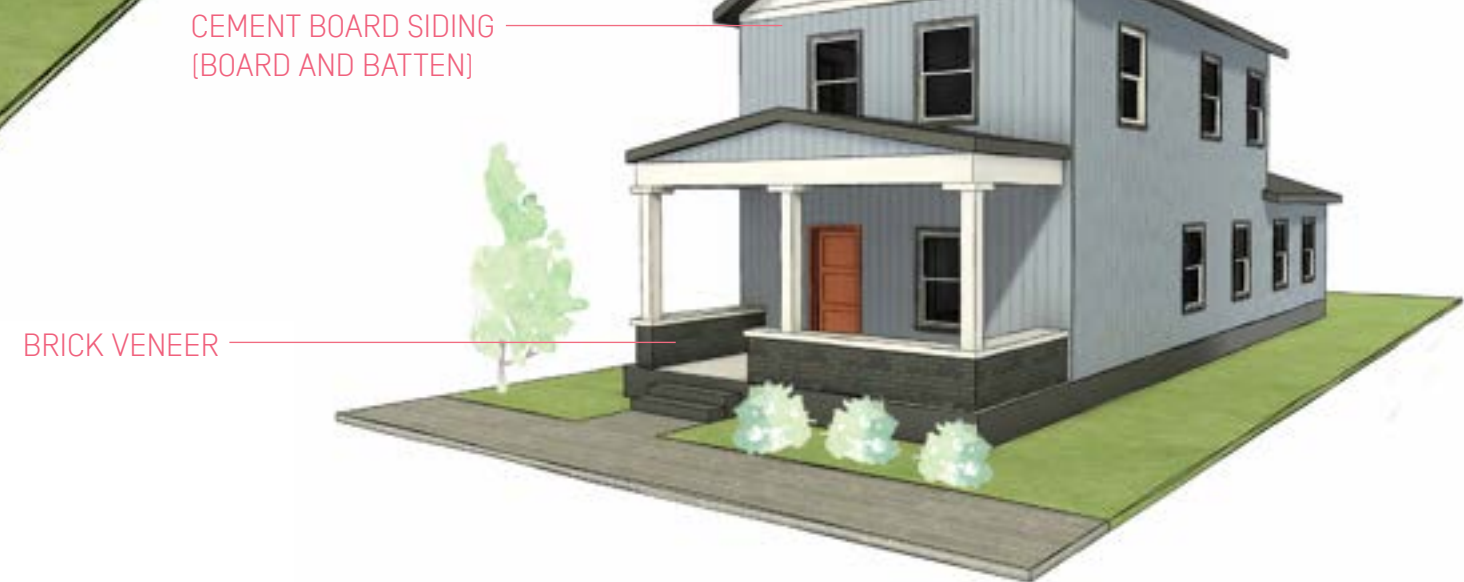
GENERAL FORM 4



OPTION 4A



OPTION 4B



OPTION 4C

Ideal Specifications

Lot

Width	35'
Depth	95'
Area	3,325 sq. ft. .0763 acres

Units

Number of Units	1
Typical Unit Size	1,646 sq. ft.

Density

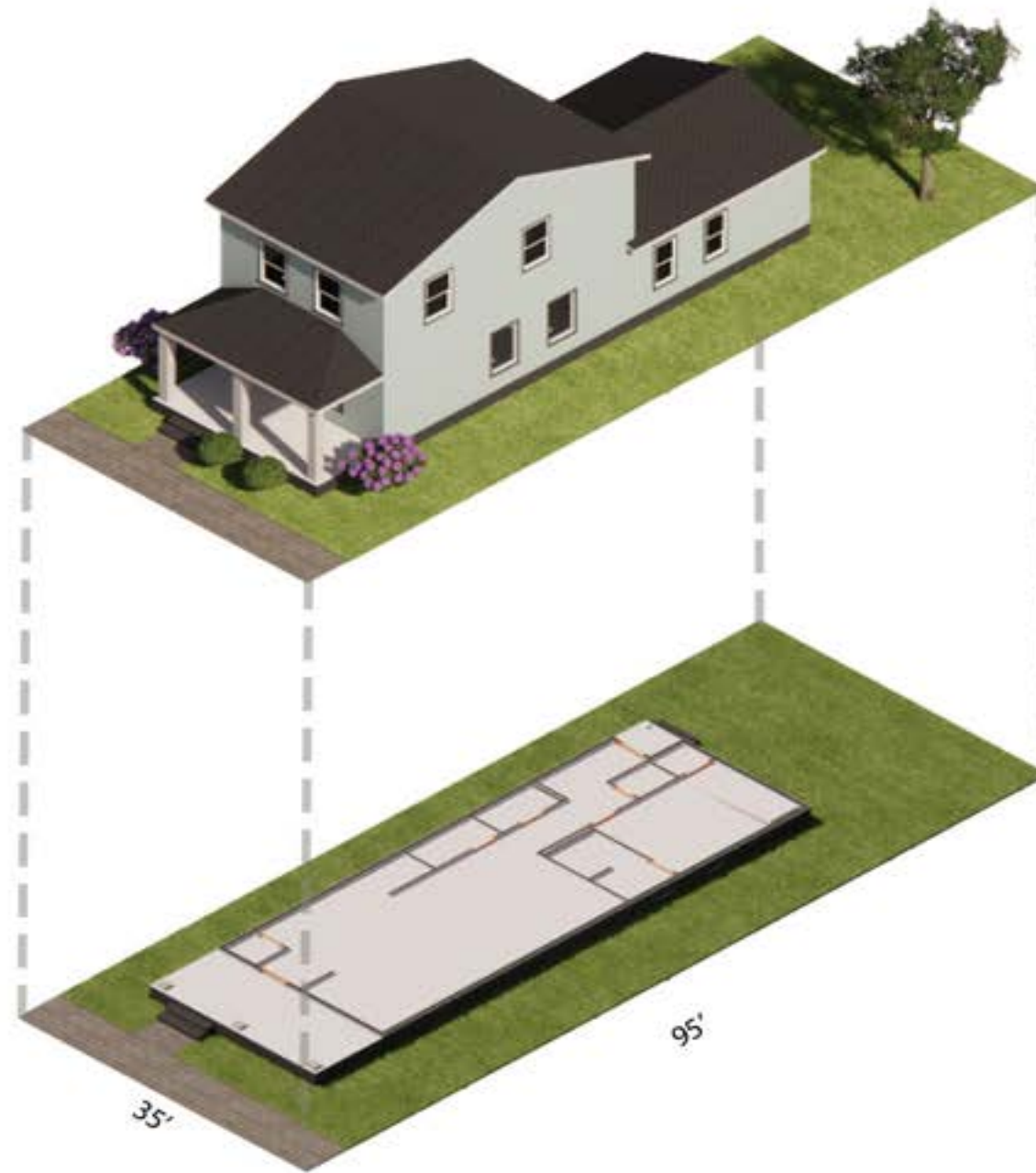
Net Density	29 du/acre
Gross Density	13 du/acre

Parking

Parking Ratio	2 per unit
On-street Spaces	2
Off-street Spaces	0

Setbacks

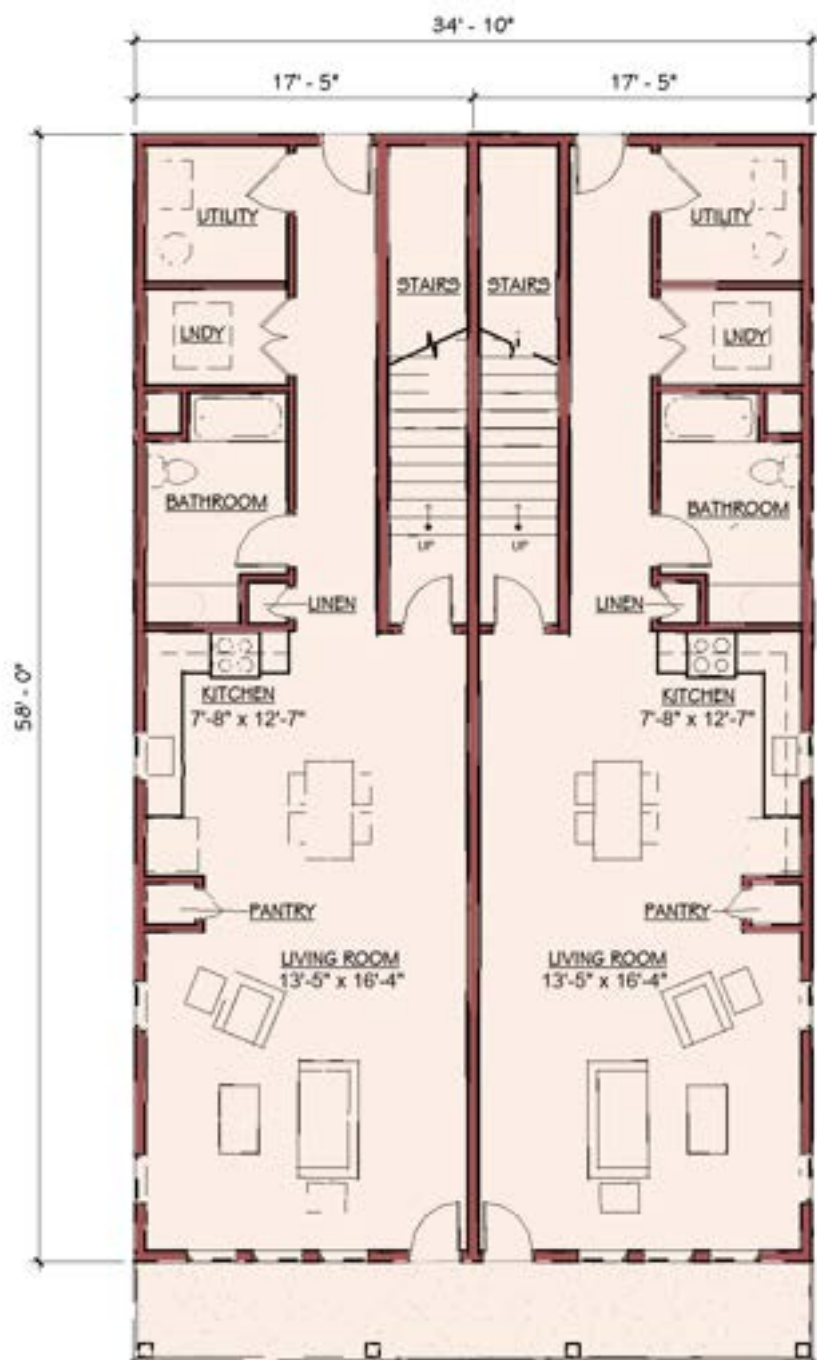
Front	0' - 10'
Side	10'



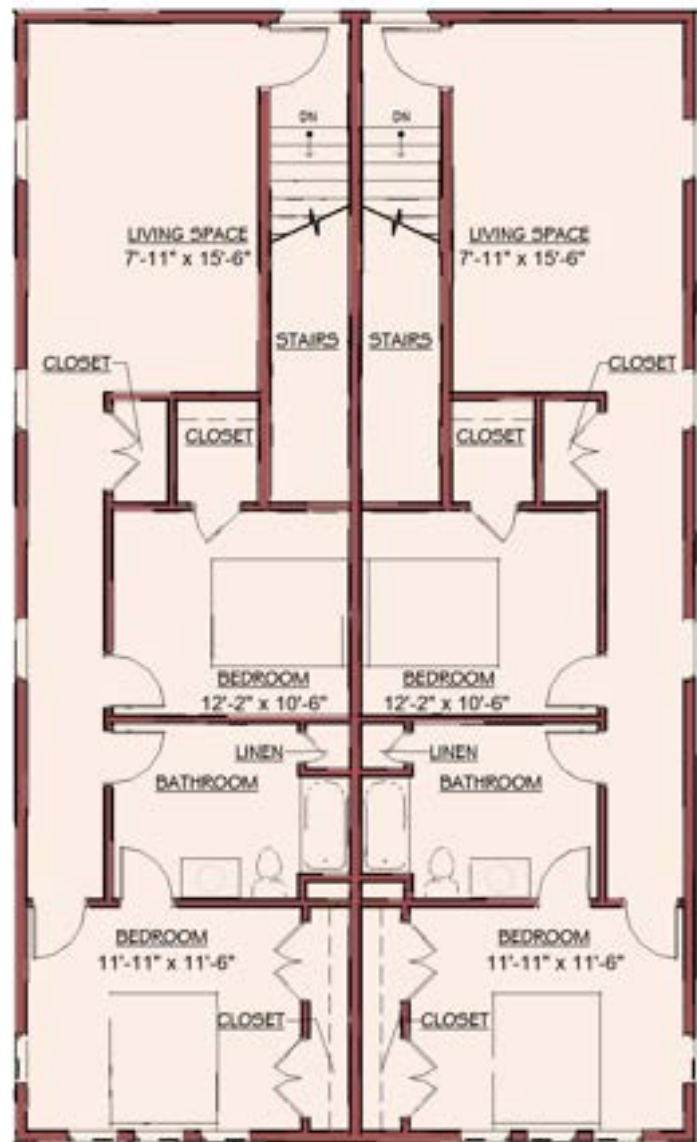


Town Home





FIRST FLOOR PLAN



SECOND FLOOR PLAN

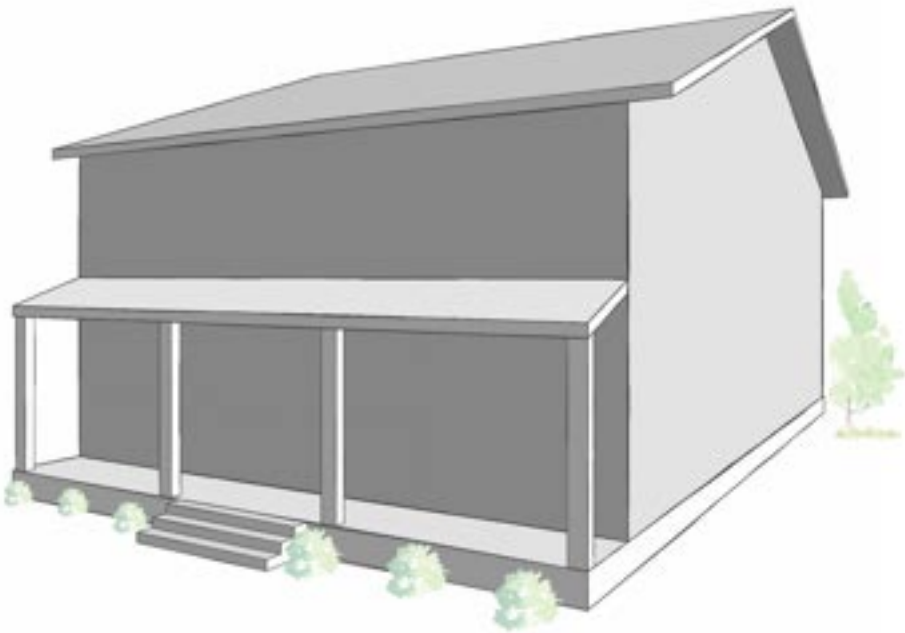
Zoning Districts

- LDR
- MDR
- TR
- DT
- MUC
- MU

FULL P&Z CODE ACCESS FOUND HERE
[Planning and Zoning Code.](#)

TYPE SUMMARY

General Dimensions	34'- 10" W x 58' - 0" D	
Building Height	2 Story	
Gross SF	1st Floor	2020 SF
	2nd Floor	2020 SF
Interior Program	2 CONDOMINIUMS 2 Bedroom, 2 Bath EA	
Cost Opinion	\$808,000	



GENERAL FORM 5

CEMENT BOARD SIDING
(BOARD AND BATTEN)

DIMENSIONAL SHINGLES



OPTION 5A

CEMENT BOARD SIDING
(LAP)

BRICK VENEER



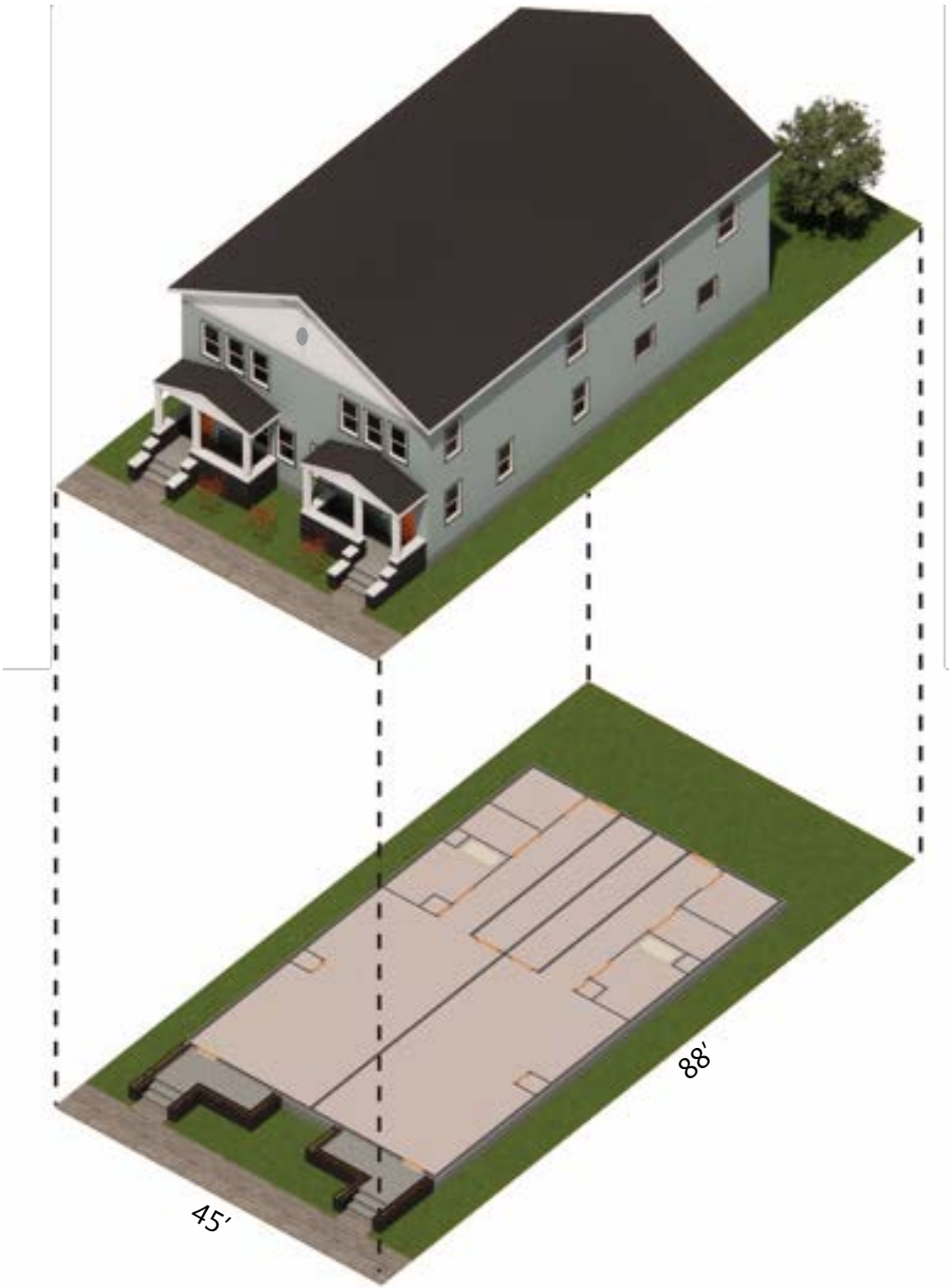
OPTION 5C

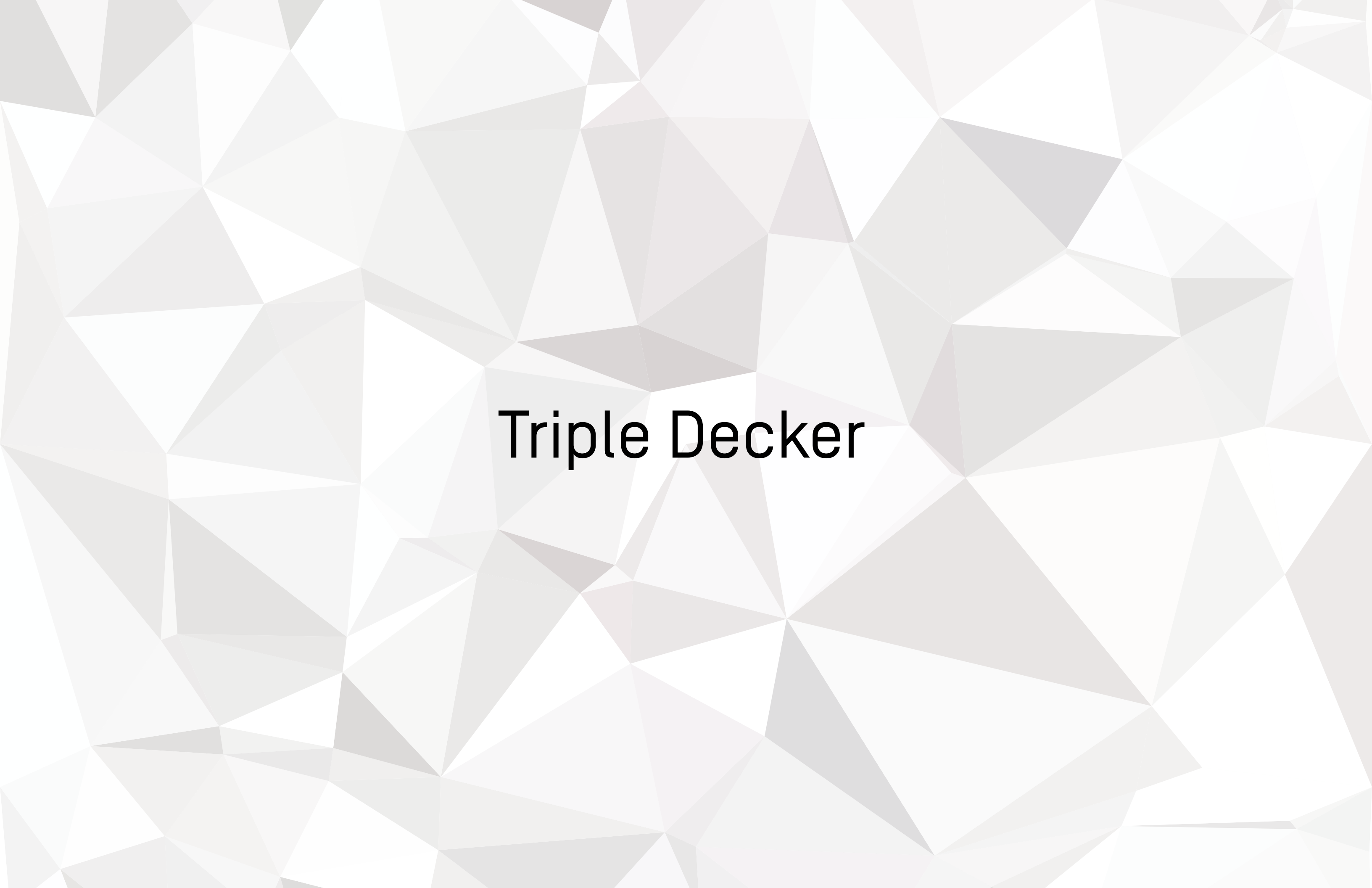


OPTION 5B

Ideal Specifications

Lot	
Width	45'
Depth	88'
Area	3,960sq. ft. .0909 acres
Units	
Number of Units	2
Typical Unit Size	2,020 sq. ft.
Density	
Net Density	22 du/acre
Gross Density	16 du/acre
Parking	
Parking Ratio	1 per unit
On-street Spaces	2
Off-street Spaces	0
Setbacks	
Front	0-10'
Side	10'



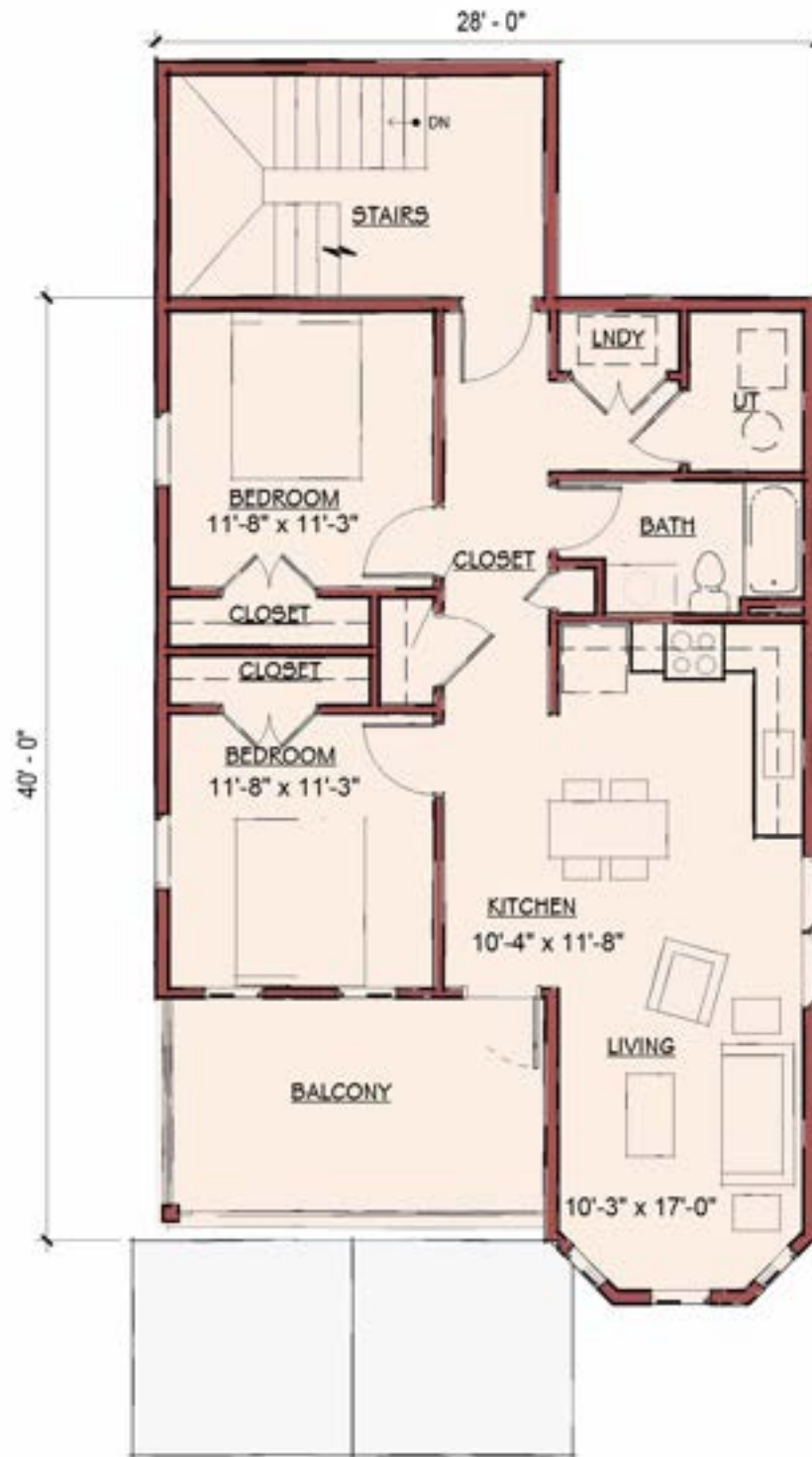


Triple Decker





FIRST FLOOR PLAN



SECOND & THIRD FLOOR PLANS

Zoning Districts

LDR MDR TR DT

MUC MU

FULL P&Z CODE
ACCESS FOUND HERE
[Planning and Zoning Code.](#)

TYPE SUMMARY

General Dimensions	28' W x 48' D
Building Height	3 Story
Gross SF	1st Floor 1150 SF 2nd Floor 1150 SF 3rd Floor 1150 SF Porch 174 SF
Interior Program	3 CONDOMINIUMS 2 Bedroom, 1 Bath EA
Cost Opinion	\$690,000



GENERAL FORM 6



OPTION 6A

CEMENT BOARD SIDING
(LAP)



OPTION 6B

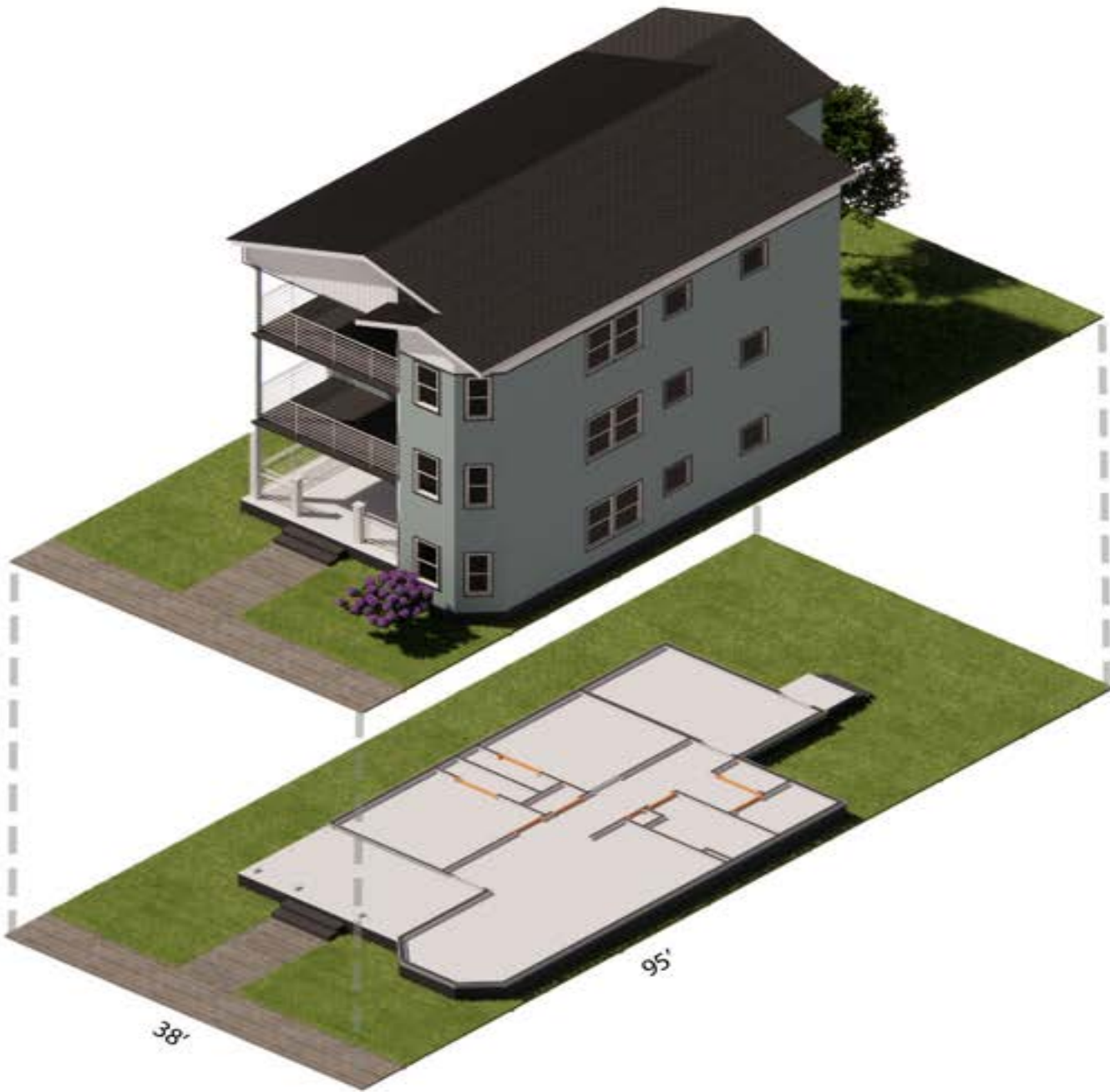


OPTION 6C

BRICK VENEER

Ideal Specifications

Lot	
Width	38'
Depth	95'
Area	3,610 sq. ft. .0829 acres
Units	
Number of Units	3
Typical Unit Size	1,150 sq. ft.
Density	
Net Density	76 du/acre
Gross Density	36 du/acre
Parking	
Parking Ratio	.6 per unit
On-street Spaces	2
Off-street Spaces	0
Setbacks	
Front	0' - 10'
Side	10'





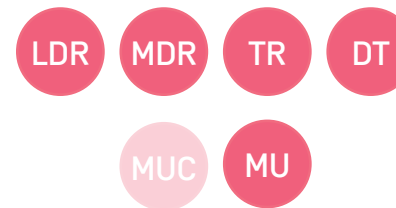
Accessory Dwelling Unit + Cottage Court





FIRST FLOOR PLAN

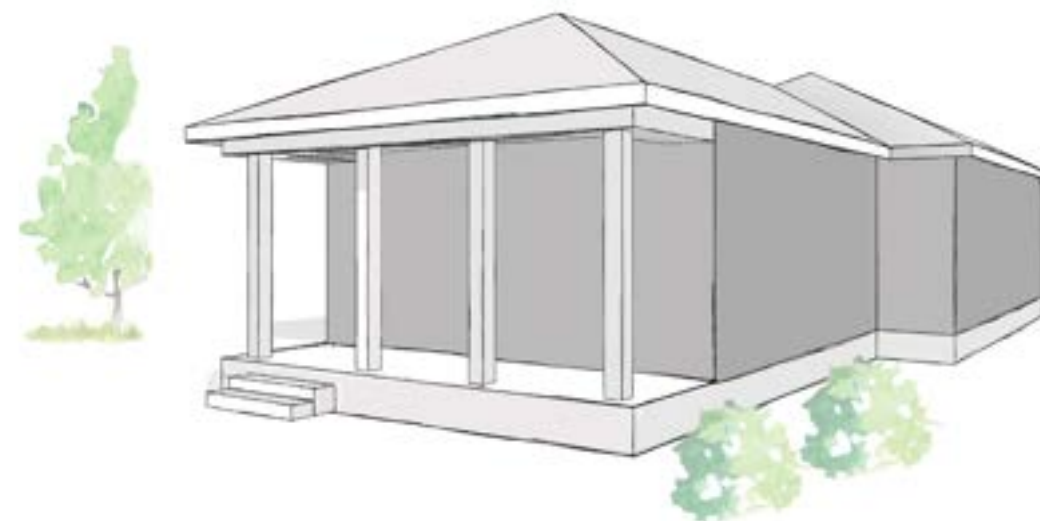
Zoning Districts



FULL P&Z CODE ACCESS FOUND HERE
[Planning and Zoning Code.](#)

TYPE SUMMARY

General Dimensions	26' 6" W x 48' 2"	
Building Height	1 Story	
Gross SF	1st Floor	1,003 SF
	Porch	112
Interior Program	2 Bedroom, 1 Bath	
Cost Opinion	\$200,600	



GENERAL FORM 7

CEMENT BOARD SIDING
(BOARD AND BATTEN)

DIMENSIONAL SHINGLES

CEMENT BOARD SIDING
(LAP)

BRICK VENEER



OPTION 7A



OPTION 7B



OPTION 7C

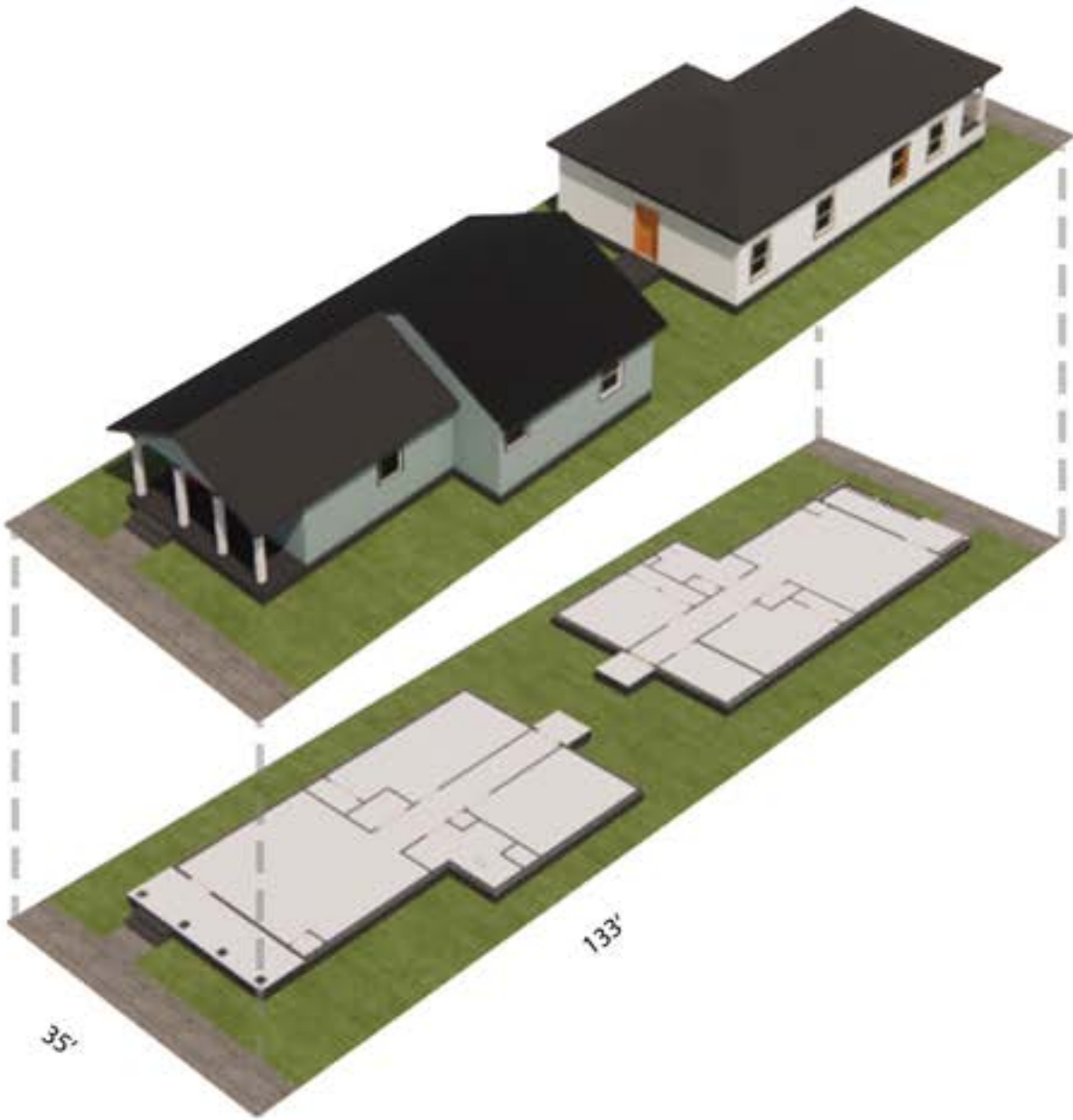
Ideal Specifications

Lot	
Width	123
Depth	175'
Area	21,525 sq. ft. .4941 acres
Units	
Number of Units	7
Typical Unit Size	774 sq. ft.
Density	
Net Density	15 du/acre
Gross Density	14 du/acre
Parking	
Parking Ratio	.85 per unit
On-street Spaces	6
Off-street Spaces	0
Setbacks	
Street Side	10'
Side	5'



Ideal Specifications

Lot	
Width	35'
Depth	133'
Area	4655sq. ft. .1069 acres
Units	
Number of Units	1
Typical Unit Size	1,003 sq. ft.
Density	
Net Density	20 du/acre
Gross Density	9 du/acre
Parking	
Parking Ratio	1 per unit
On-street Spaces	2
Off-street Spaces	0
Setbacks	
Front	0-10'
Side	10'



TowerPinkster

Architecture · Engineering · Interiors

Prepared for the City of New Albany
Redevelopment Commission